

LAND EAST OF POSBROOK LANE TITCHFIELD, FAREHAM HAMPSHIRE, PO14 4EY

PROOF OF EVIDENCE – APPENDICES SECTION 78 APPEAL

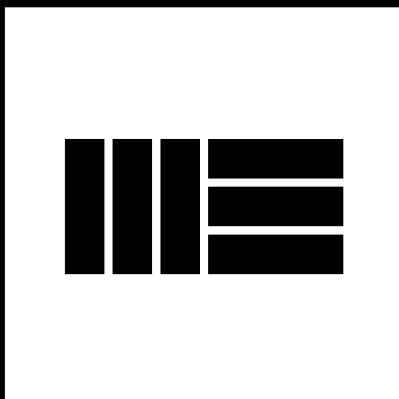
LPA REF: P/19/1193/OA

PINS REF: APP/A1720/W/20/3254389

LUCY MARKHAM MRTPI IHBC

RE. HERITAGE MATTERS

01 NOVEMBER 2021



APPENDIX 1.0

VISUAL APPENDIX

FAREHAM BOROUGH COUNCIL SECTION 78 APPEAL

LAND EAST OF POSBROOK LANE, TITCHFIELD, FAREHAM, HAMPSHIRE, PO14 4EY

LPA: P/19/1193/0A

PINS: APP/A1720/W/20/3254389

MS LUCY MARKHAM MRTPI IHBC

PROOF OF EVIDENCE

RE. HERITAGE MATTERS

APPENDIX 1: VISUAL APPENDIX

NOVEMBER 2021



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1.0 HISTORIC MAPS

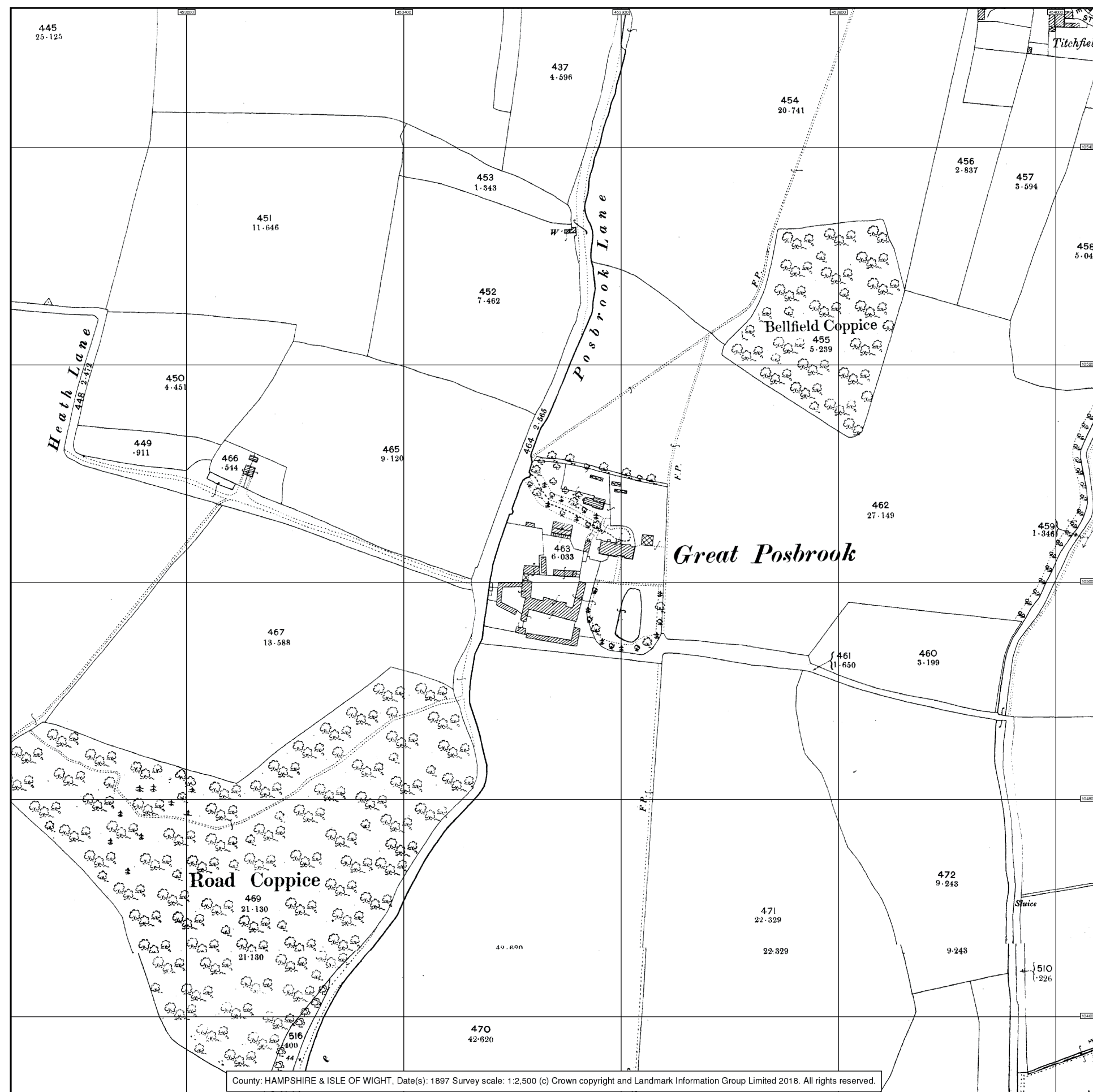


1838 TITHE MAP



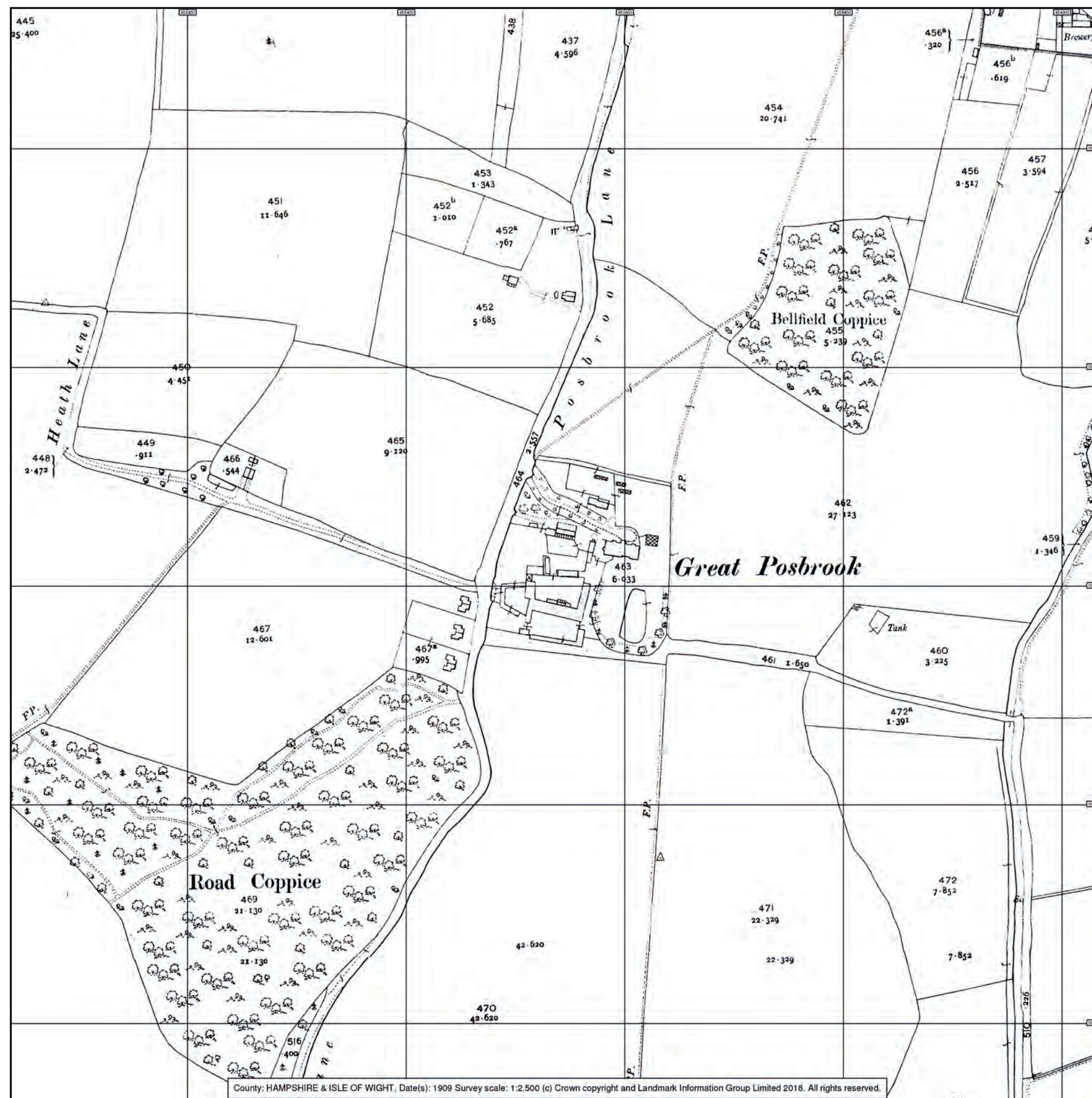
Landmark
INFORMATION GROUP

Landmark Historical Map
County: HAMPSHIRE & ISLE OF
WIGHT
Published Date(s): 1881



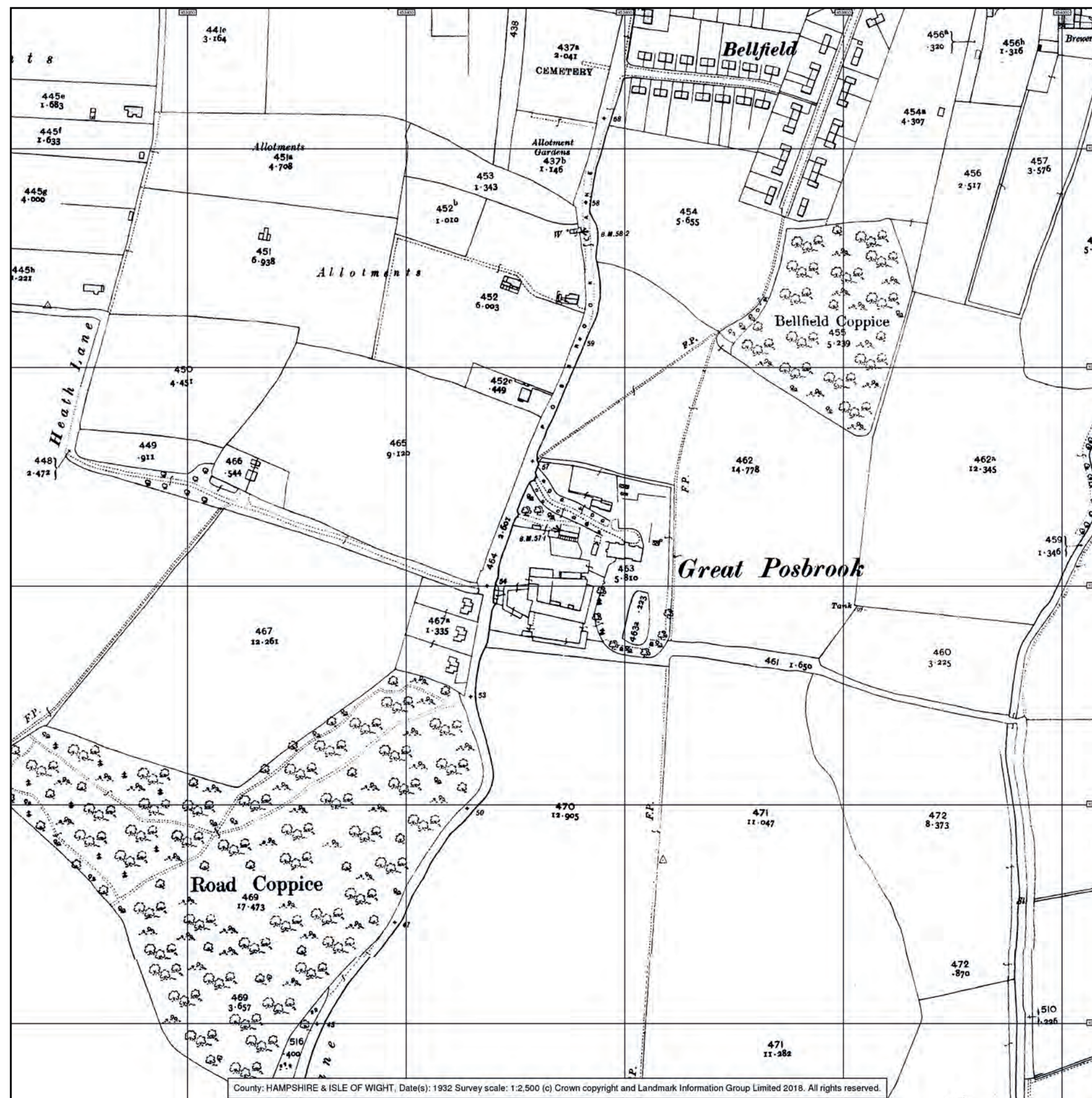
Landmark
INFORMATION GROUP

Landmark Historical Map
County: HAMPSHIRE & ISLE OF
WIGHT
Published Date(s): 1897



Landmark
INFORMATION GROUP

Landmark Historical Map
County: HAMPSHIRE & ISLE OF
WIGHT
Published Date(s): 1909



Landmark
INFORMATION GROUP

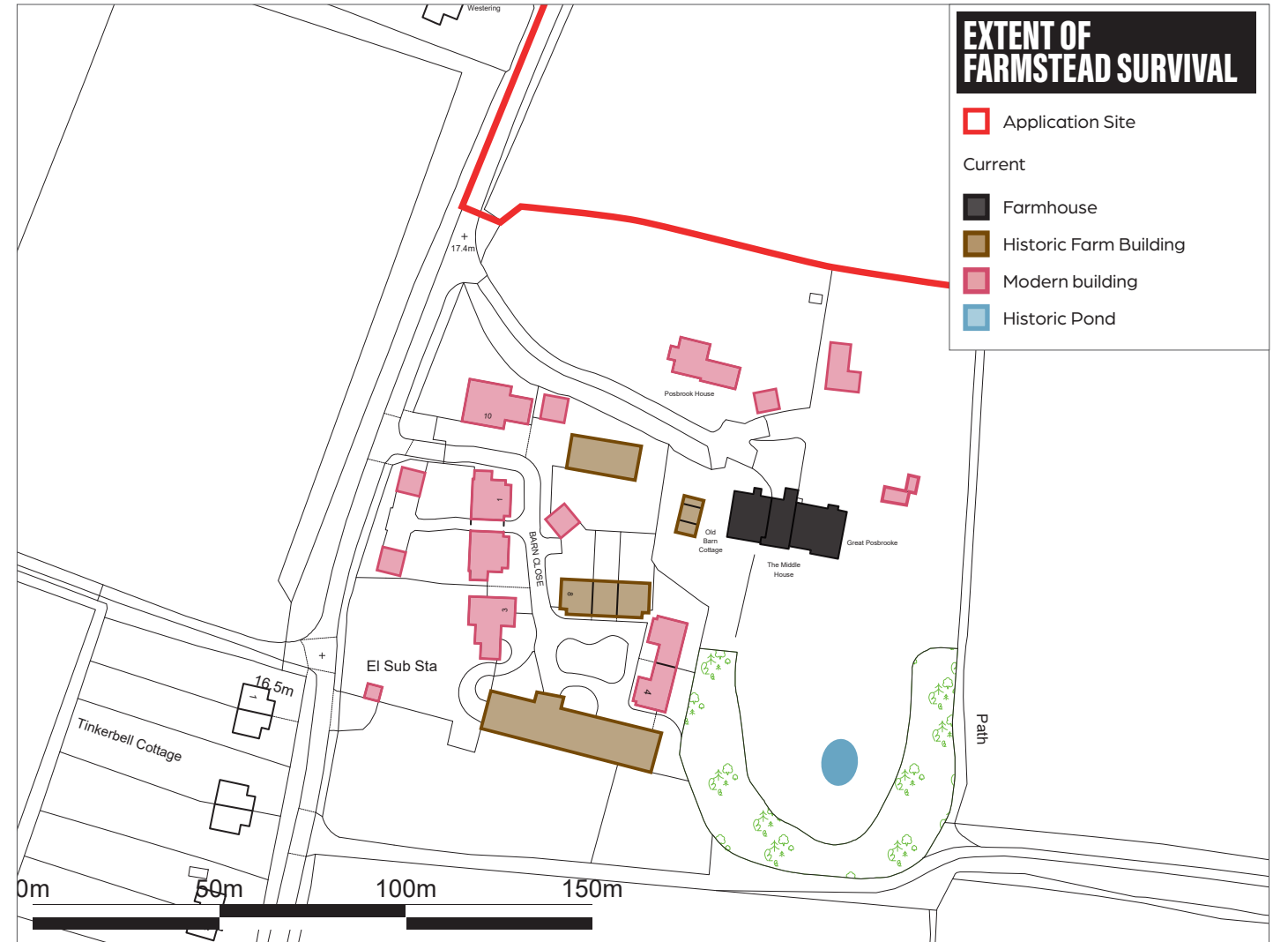
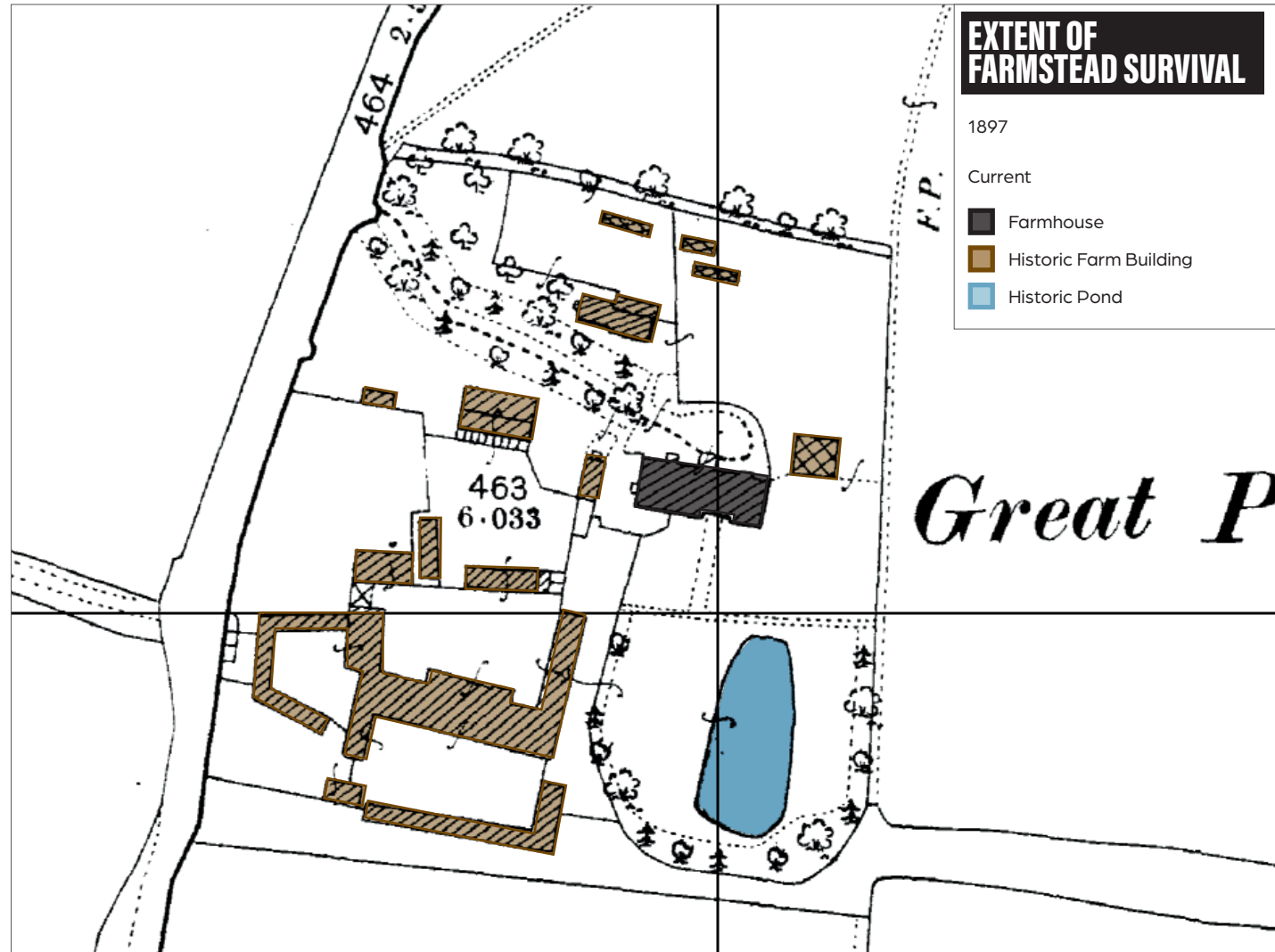
Landmark Historical Map
County: HAMPSHIRE & ISLE OF
WIGHT
Published Date(s): 1932

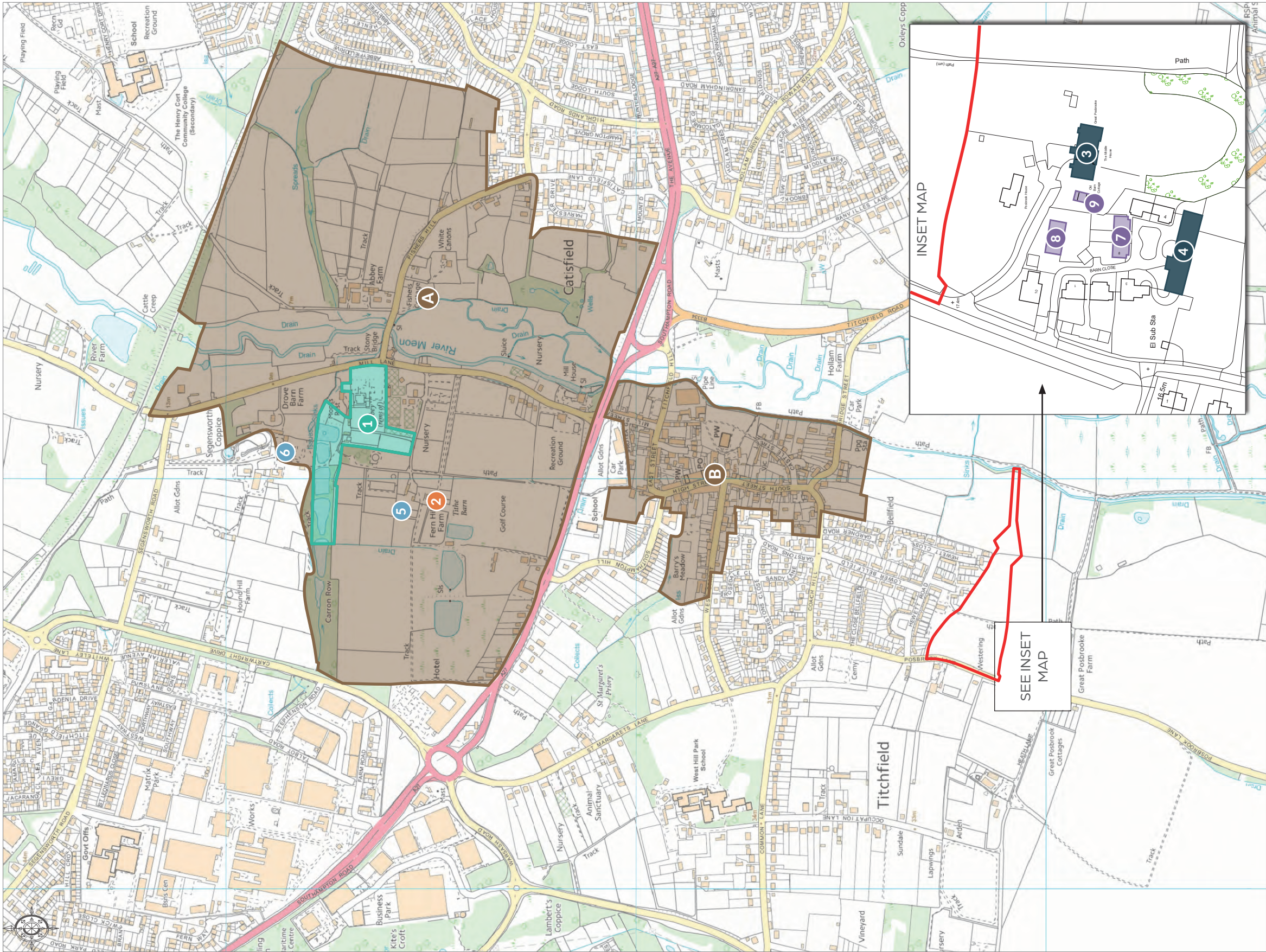


Landmark
INFORMATION GROUP

Landmark Historical Map
Mapping: Epoch 5
Published Date(s): 1964-1965
Originally plotted at: 1:2,500

2.0 EXTENT OF FARMSTEAD SURVIVAL





HERITAGE ASSET PLAN

- Scheduled Monument**
 - 1. Titchfield Abbey and fishponds
- Grade I Listed**
 - 2. Monastic Barn of Titchfield Abbey

- Grade II* Listed**
 - 3. Great Posbrook (farmhouse)
 - 4. Southern Barn at Great Posbrook
- Grade II listed**
 - 5. Fern Hill Farmhouse
 - 6. Barn at Carron Row Farm

- Locally Listed**
 - 7. Former stables (8/520)
 - 8. Former cartshed/pigsties (8/172)
 - 9. Former small barn/granary (8/521)
- Conservation Areas**
 - A. Titchfield Abbey Conservation Area
 - B. Titchfield Conservation Area

LOCATION:
Land East of Posbrook Lane

DATE:
November 2021

SCALE:
1:10,000 @ A3

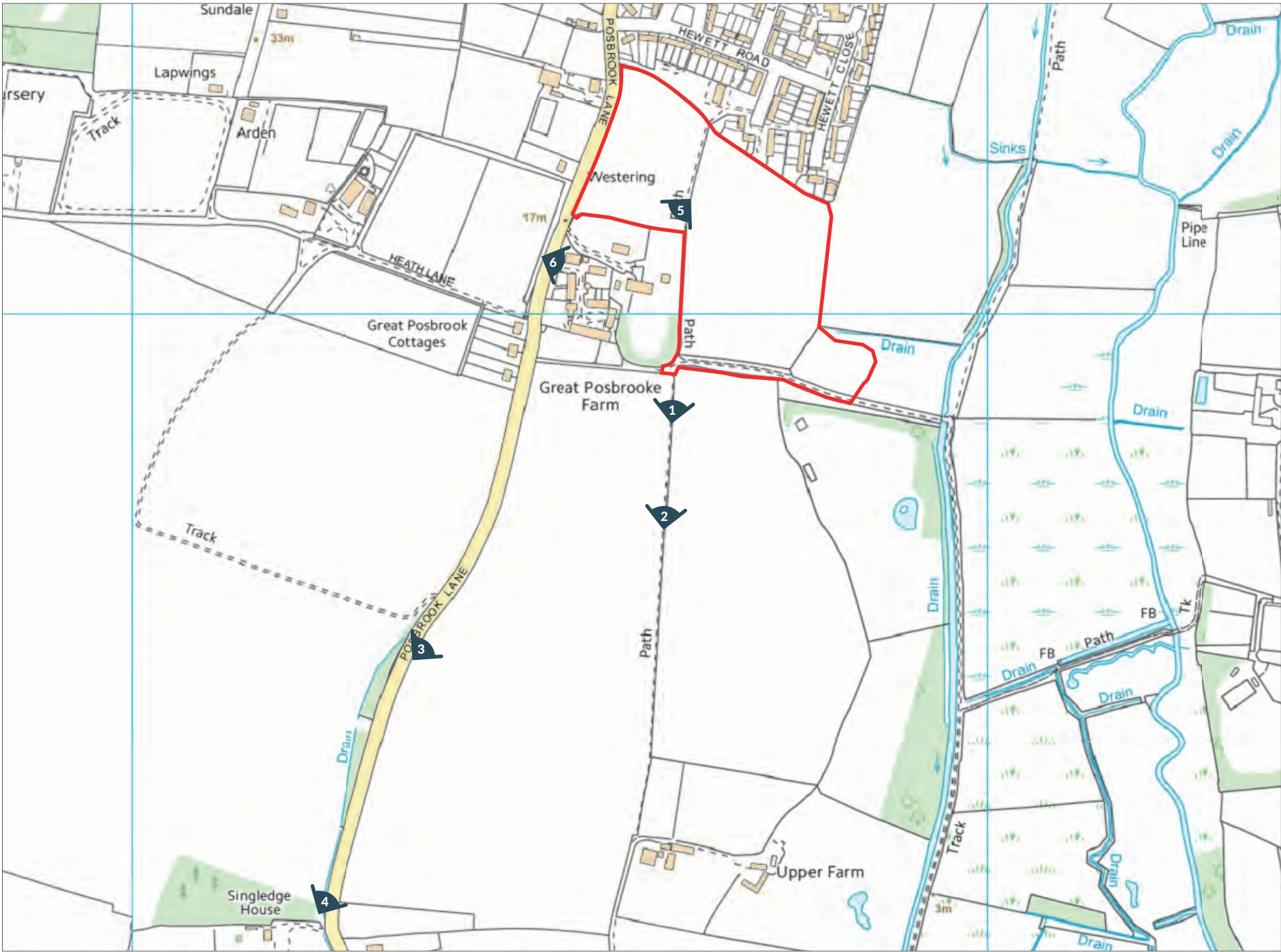


▲ NORTH



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4.0 VIEW POINTS PLAN



5.0 PHOTOGRAPHS

1. FARMHOUSE



Plate 1 2018



Plate 2 2018



Plate 3 2018



Plate 4 2018



Plate 5 2018



Plate 6 2018



Plate 7 2018



Plate 8 2018



Plate 9 2018



Plate 10 2018



Plate 11 2018



Plate 12 2018



Plate 13 2018



Plate 14 2018



Plate 15 2018



Plate 16 2018



Plate 17 2018



Plate 18 2018

2. BARN



Plate 19 2018



Plate 20 2018



Plate 21 2018



Plate 22 2018



Plate 23 2018



Plate 24 2018

3. HISTORIC FARM BUILDINGS



Plate 25 2018



Plate 26 2018



Plate 27 2018



Plate 28 2018



Plate 29 2018

4. OTHER BUILDINGS



Plate 30 2021



Plate 31 2018



Plate 32 2018



Plate 33 2018

5. OPEN SPACES IN TITCHFIELD



Plate 34 2021



Plate 35 2021



Plate 36 2021

6. VIEWS

VIEW 1:

VIEW FROM PROW 34 TO SOUTH, LOOKING NORTH

2018



2021



VIEW 2:
VIEW FROM PROW 34 FURTHER TO THE SOUTH, LOOKING NORTH

2018



2021



VIEW 3:

**2018 VIEW FROM POSBROOK LANE SOUTH OF THE FARM
ENTRANCE, LOOKING NORTH**



VIEW 4:

**2018 VIEW FROM POSBROOK LANE NORTH OF SINGLEGE HOUSE,
LOOKING NORTH**



VIEW 5:**2018 VIEW FROM PROW 34 WITHIN APPEAL SITE, LOOKING SOUTH**

VIEW 6:**2018 VIEW INTO BARN CLOSE FROM POSBROOK LANE**

7. AERIAL PHOTOS**1971 PHOTO FROM SOUTH**

LATE 1990S PHOTO FROM NORTH-WEST





Date
OCTOBER 2021

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APPENDIX 2.0

- A) SCHEDULED MONUMENT AND LIST DESCRIPTIONS**
- B) HISTORIC ENVIRONMENTAL RECORDS**
- C) LOCAL LIST ENTRIES**



Historic England

BARN AT CARRON ROW FARM

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Overview

Heritage Category: Listed Building

Grade: II

List Entry Number: 1094236

Date first listed: 22-Oct-1976

Statutory Address: BARN AT CARRON ROW FARM, MILL LANE

Map



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Location

Statutory Address: BARN AT CARRON ROW FARM, MILL LANE

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 54066 06852

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

MILL LANE 1. 5231 (West Side) Titchfield ----- Barn at Carron Row Farm SU 50 NW 24/411 II
2. Probably C17/early C18 but could be of earlier origin. A timber framed barn with red brick infill rendered white. End wall has timber framing exposed and some wall posts also exposed in side wall. English band brickwork with vents spaced as in Tithe Barn at Fern Hill Farm. Half-hipped roof now clad in corrugated iron. Aisled barn of 6 bays the end bay with floor to make harness room below. Tie beams, straight braces, through purlin roof, no ridge piece or collars. All timbers morticed and pegged in but wall posts appear to be of sawn timber. Double opposite wagon entrances - flat roofs.

Listing NGR: SU5423806617

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 141706

Legacy System: LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

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FERN HILL FARMHOUSE

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Overview

Heritage Category: Listed Building

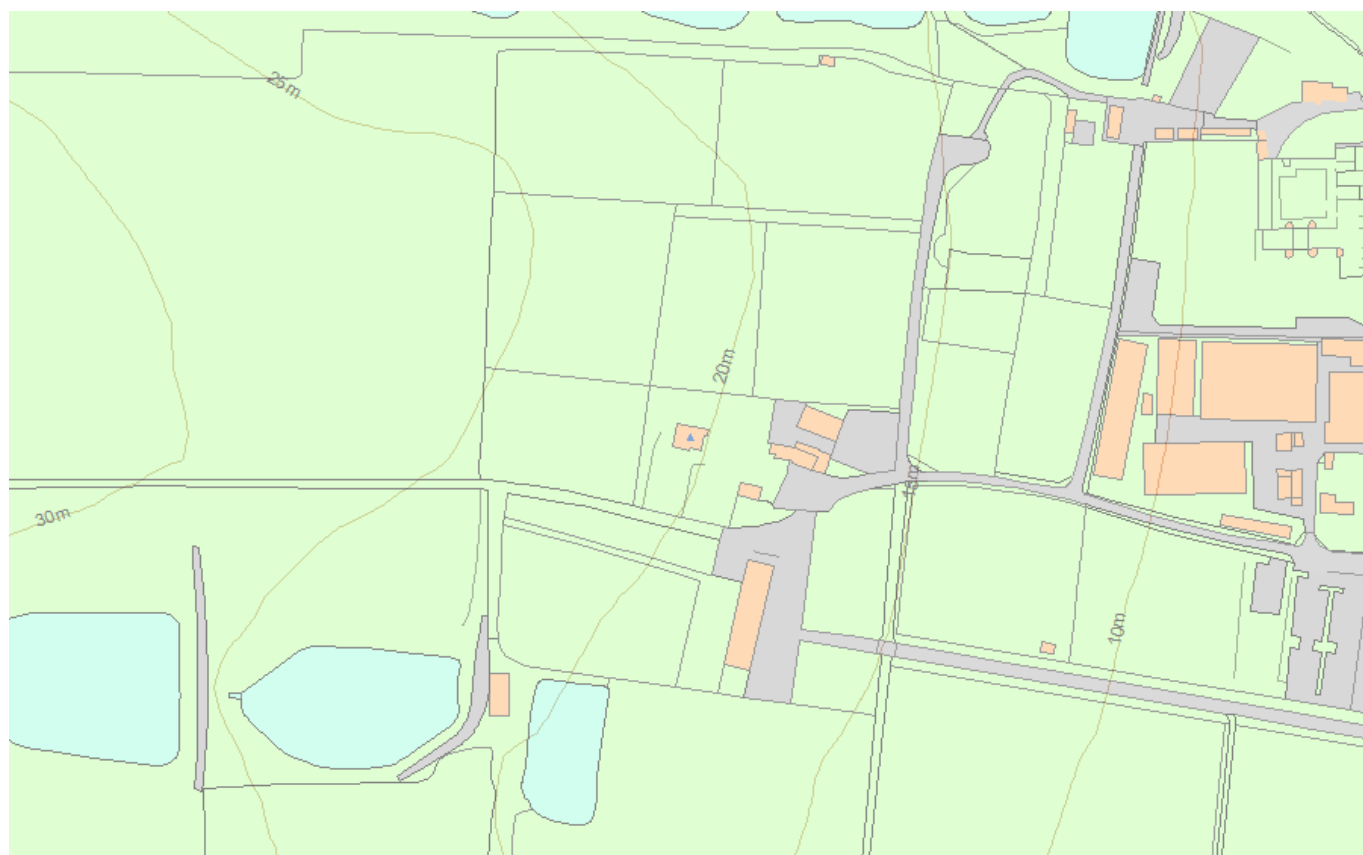
Grade: II

List Entry Number: 1230997

Date first listed: 22-Oct-1976

Statutory Address: FERN HILL FARMHOUSE, MILL LANE

Map



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Location

Statutory Address: FERN HILL FARMHOUSE, MILL LANE

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 53926 06567

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

MILL LANE 1. 5231 (West Side) Titchfield Fern Hill Farmhouse SU 50 NW 24/410 II GV 2. Timber framed bay of possible hall remains abutting 2 storey stone cross wing with red brick dressings and south facade stuccoed. Axial chimney stack between the 2 parts and datestone of 1689 incorporated in the wall. Further red brick C19 section of 2 storeys added to the west. Half hipped old tiled roof. Foundations extend beyond present 1 storey hall section which has later outshuts to north and south. Barred sashes and casements. Interior has C17 angled fireplaces with bread oven. C16/C17 staircase with finials, newels, pendants and thick string, turned balusters. Timber framed section has low tie beams. Eastern interior wall has exposed timber framing with centre blocked door above beam. The Tithe Barn at Fern Hill Farm forms a group with Fern Hill Farmhouse.

Listing NGR: SU5393006570

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 141704

Legacy System: LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

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GREAT POSBROOK

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Overview

Heritage Category: Listed Building

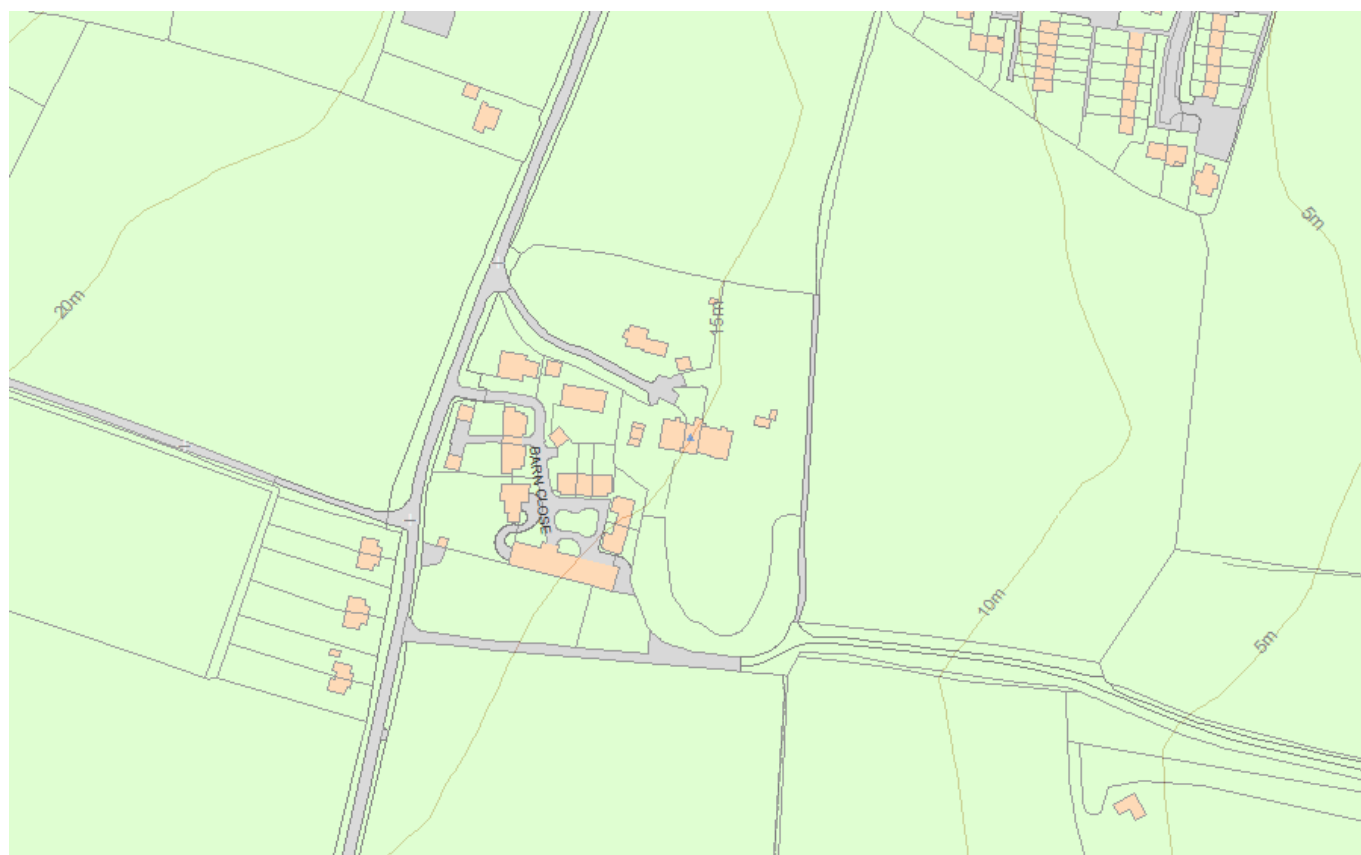
Grade: II*

List Entry Number: 1233024

Date first listed: 18-Oct-1955

Statutory Address: GREAT POSBROOK, POSBROOK LANE

Map



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Location

Statutory Address: GREAT POSBROOK, POSBROOK LANE

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 53592 05033

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

POSBROOK LANE 1. 5231 (East Side) Titchfield Great Posbrooke SU 5305 8/173 18.10.55.

II* GV

2. C16 house, altered in C19. Consists of 2 parallel ranges. The north range has exposed timber framing with herringbone brick nogging and very large external chimney stack. Some of earlier casements now bricked up. 3 light sash with glazing bars at 1st floor and attic window in gable above. Tiled roof. South facade has centre part with gable and 2 projecting wings. 2 1/2 storeys. 7 windows including centre blank with sundial. 2 dormers and attic window in gable. Sashes with late C19 glazing. 6 panelled door, top 4 panels now glazed, moulded architrave and large flat hood on brackets. To west 1 1/2 storey section with 2 hipped roof dormers and sashes with boxed frames. Interior has panelling of C17 and C18. C17 staircase and exposed beams. Massive wall post also exposed inside. Great Posbrooke forms a group with the eastern and southern barns. The store shed and small barn and with the cartshed and pigsties at Great Posbrook Farm (are of local interest only.)

Listing NGR: SU5360405030

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 408340

Legacy System: LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

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MONASTIC BARN OF TITCHFIELD ABBEY AT FERN HILL FARM



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Overview

Heritage Category: Listed Building

Grade: I

List Entry Number: 1094235

Date first listed: 18-Oct-1955

Date of most recent amendment: 13-May-2010

Statutory Address: MONASTIC BARN OF TITCHFIELD ABBEY AT FERN HILL FARM, MILL LANE

Map



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Location

Statutory Address: MONASTIC BARN OF TITCHFIELD ABBEY AT FERN HILL FARM, MILL LANE

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 53951 06489

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

899/24/409 MILL LANE 18-OCT-55 TITCHFIELD (West side) Monastic barn of Titchfield Abbey at Fern Hill Farm (Formerly listed as: MILL LANE TITCHFIELD TITHE BARN AT FERN HILL FARM)

A medieval monastic timber-framed, aisled barn with hipped tiled roof. The barn is approximately 50m long by 15m wide, with timbers dated by dendrochronology to 1407-1409. Constructed of oak, limestone tile and brick.

EXTERIOR: The east (front) side and north end are weatherboarded, and the west (rear) side and south end are of limestone blocks. Two wagon entrances to the east side are opposed by two double-plank door entrances to the west. There are ventilation slits and windows, both with brick dressings, to the west wall and cement buttresses to the south wall. The wagon entrances have hipped tiled roofs with arched braces.

INTERIOR: The bays are composed of alternate major and minor trusses. The jowled arcade posts of the principal trusses have arched braces to the tie beams; those of the intermediate trusses have jointed crucks to stub tie or false hammer beams. Purlins are clasped between principal rafters and under-rafters. The under-rafters end at collars. There are some arched wind braces. Short king post trusses from the collars, with ridge braces, support the ridge. The framing is quite unusual with the use of false hammer beams, under-rafters and short king-posts.

The east facing wagon entrances have arched braces to the tie beams with queen struts above. The west facing entrances can be seen to be later insertions by their lack of internal framing.

The free standing C20 shed within the barn is not of special interest.

HISTORY: The barn stands in the area of the outer precinct of the former Premonstratensian abbey at Titchfield. The Premonstratensian order was founded in 1120 by St Norbert at Premontre, near Laon, France. Titchfield Abbey, called the Abbey of St Mary and St John the Evangelist, was founded in 1232 by Peter des Roches, Bishop of Winchester. It was the last of 33 Premonstratensian houses of that order to be founded in England. The abbey estate comprised 15 manors, containing 60 villages and had 500 tenants. It had 1000 acres of arable land and 1500 sheep. In the early C13 the abbey estates used the open field system of agriculture, but by the later C13 and into the C14 much of the abbey's lands were enclosed and sheep rearing began to take over from arable farming. The abbey barn, built to centralise grain storage, was not built until the early C15. The abbey was visited by Richard II and Henry V on his way to the wars in France. Henry VI and Margaret of Anjou enjoyed part of their wedding celebrations at the abbey.

Following the suppression of Titchfield in 1537 part of the abbey was converted into a mansion, known as Place House, by Thomas Wriothesley who had received it from King Henry VIII. Most of the house was demolished in 1781 by the Delme family who had acquired it 1742, in order to provide materials for a new house they built in Fareham. The barn, however, survives substantially intact, but with some later alterations, following the Dissolution when stone became available to replace wooden walling, and in the late C18 or early C19 with the addition of brickwork.

The dendrochronology felling dates for the main structure of the barn are spring 1407 and winter 1408/9, and that for the timbers of the north porch is 1560-62. It would appear that the wagon entrances were enlarged and rebuilt, probably when stone became available from the adjacent monastic buildings at the time of the Dissolution.

To the north of the barn and west of the abbey is a series of five fishponds, which are scheduled along with the main remains of Titchfield Abbey (scheduled monument 26713). The abbey was the subject of a Guardianship agreement in 1922.

SOURCES: Conservation Area Character Assessment, Titchfield Abbey, Fareham Borough

Council website. <http://www.fareham.gov.uk/council/general/cpa/titchfieldabbey.pdf> - [accessed 12/10/09] Fareham Borough Landscape Assessment (1996), Chapter 2: Formative influences. From the Fareham Borough Council website. <http://www.fareham.gov.uk/council/departments/planning/landscape/character/chaptertwo.asp#a10> - [accessed 12/10/09]. Oxford Dendrochronology Laboratory. <http://www.dendrochronology.net/V6%202007/hamptt.htm> - [accessed 13/10/09]

REASONS FOR DESIGNATION: The C15 monastic barn at Fernhill Farm is listed at Grade I for the following principal reasons: * Architectural interest: as one of the few surviving great medieval abbey barns nationally in terms of survival of fabric and monumental proportions. * Architectural interest: as a medieval building with unusual timber framing, securely dated to 1407-09, of exceptional interest in terms of structural construction and craftsmanship. * Historic interest: as relating to agricultural monastic life in Britain from the early C15 onwards and as an important part of the history of the Premonstratensian abbey at Titchfield.

Listing NGR: SU5423806617

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 141703

Legacy System: LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

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MONASTIC BARN OF TITCHFIELD ABBEY AT FERN HILL FARM



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Overview

Heritage Category: Listed Building

Grade: I

List Entry Number: 1094235

Date first listed: 18-Oct-1955

Date of most recent amendment: 13-May-2010

Statutory Address: MONASTIC BARN OF TITCHFIELD ABBEY AT FERN HILL FARM, MILL LANE

Map



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Location

Statutory Address: MONASTIC BARN OF TITCHFIELD ABBEY AT FERN HILL FARM, MILL LANE

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 53951 06489

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

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Legacy Record - This information may be included in the List Entry Details.

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To the north of the barn and west of the abbey is a series of five fishponds, which are scheduled along with the main remains of Titchfield Abbey (scheduled monument 26713). The abbey was the subject of a Guardianship agreement in 1922.

SOURCES: Conservation Area Character Assessment, Titchfield Abbey, Fareham Borough

Council website. <http://www.fareham.gov.uk/council/general/cpa/titchfieldabbey.pdf> - [accessed 12/10/09] Fareham Borough Landscape Assessment (1996), Chapter 2: Formative influences. From the Fareham Borough Council website. <http://www.fareham.gov.uk/council/departments/planning/landscape/character/chaptertwo.asp#a10> - [accessed 12/10/09]. Oxford Dendrochronology Laboratory. <http://www.dendrochronology.net/V6%202007/hamptt.htm> - [accessed 13/10/09]

REASONS FOR DESIGNATION: The C15 monastic barn at Fernhill Farm is listed at Grade I for the following principal reasons: * Architectural interest: as one of the few surviving great medieval abbey barns nationally in terms of survival of fabric and monumental proportions. * Architectural interest: as a medieval building with unusual timber framing, securely dated to 1407-09, of exceptional interest in terms of structural construction and craftsmanship. * Historic interest: as relating to agricultural monastic life in Britain from the early C15 onwards and as an important part of the history of the Premonstratensian abbey at Titchfield.

Listing NGR: SU5423806617

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 141703

Legacy System: LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

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SOUTHERN BARN AT GREAT POSBROOK FARM

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Overview

Heritage Category: Listed Building

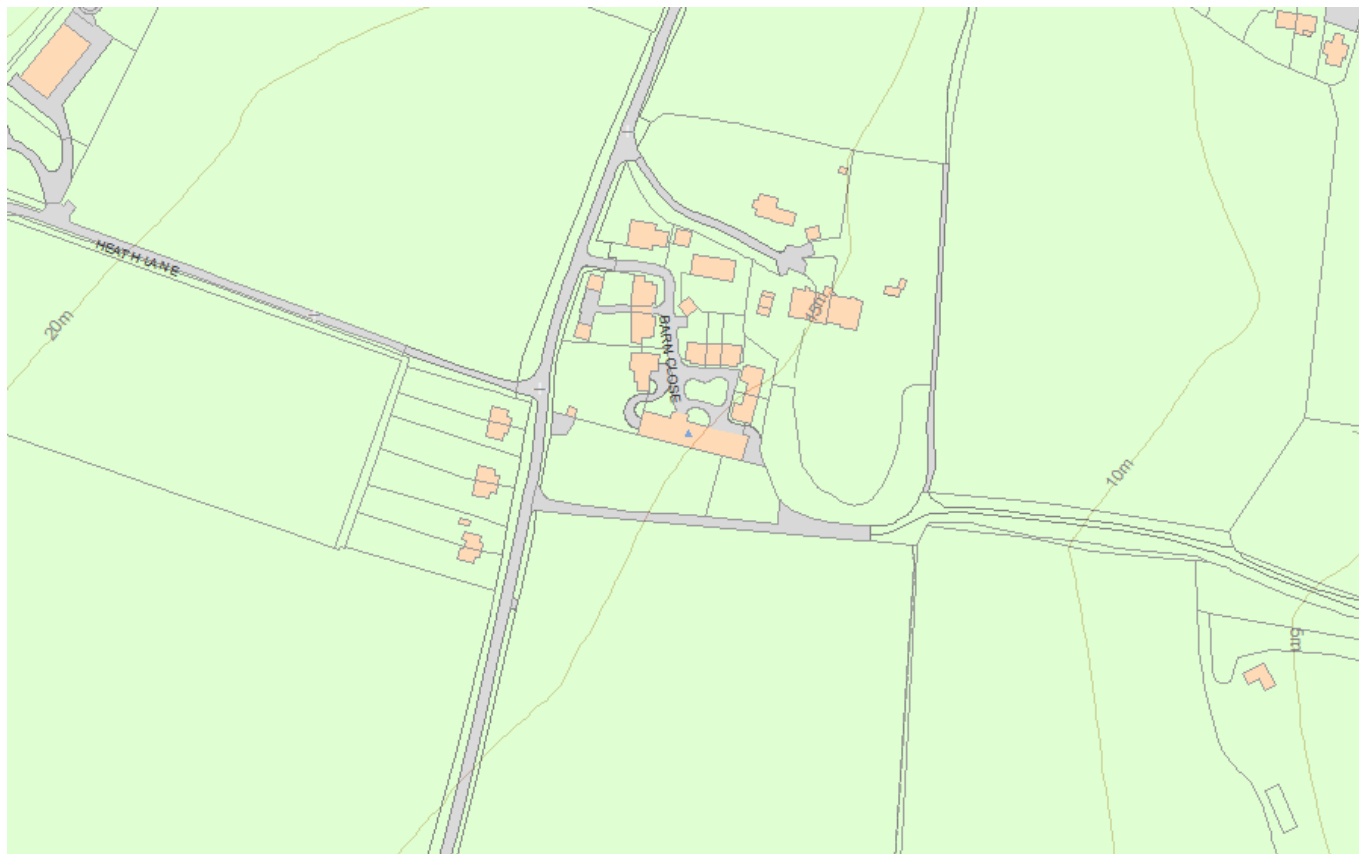
Grade: II*

List Entry Number: 1233029

Date first listed: 22-Oct-1976

Statutory Address: SOUTHERN BARN AT GREAT POSBROOK FARM, POSBROOK LANE

Map



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The above map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - [1233029.pdf](#) [↗](#)

The PDF will be generated from our live systems and may take a few minutes to download depending on how busy our servers are. We apologise for this delay.

This copy shows the entry on 26-Sep-2018 at 14:54:40.

Location

Statutory Address: SOUTHERN BARN AT GREAT POSBROOK FARM, POSBROOK LANE

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 53534 04978

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

POSBROOK LANE 1. 5231 (East Side) Titchfield Southern barn at Great Posbrook Farm SU 50 SW 23/379

II* GV

2. Late mediaeval aisled barn circa 100 ft long. Weatherboarded with opposite double doors. Very steeply pitched half hipped tiled roof. (Roof corrugated iron on 1 side). Massive timbers with tie beams, Queen posts, collars and mostly arched braces with some straight ones. Great Posbrooke forms a group with the eastern and southern barns, The store shed and small barn and with the cartshed and pigsties at Great Posbrook Farm (are of local interest only).

Listing NGR: SU5360405030

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 408342

Legacy System: LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

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Historic England

Titchfield Abbey and fishponds

 [5 contributions](#)

Overview

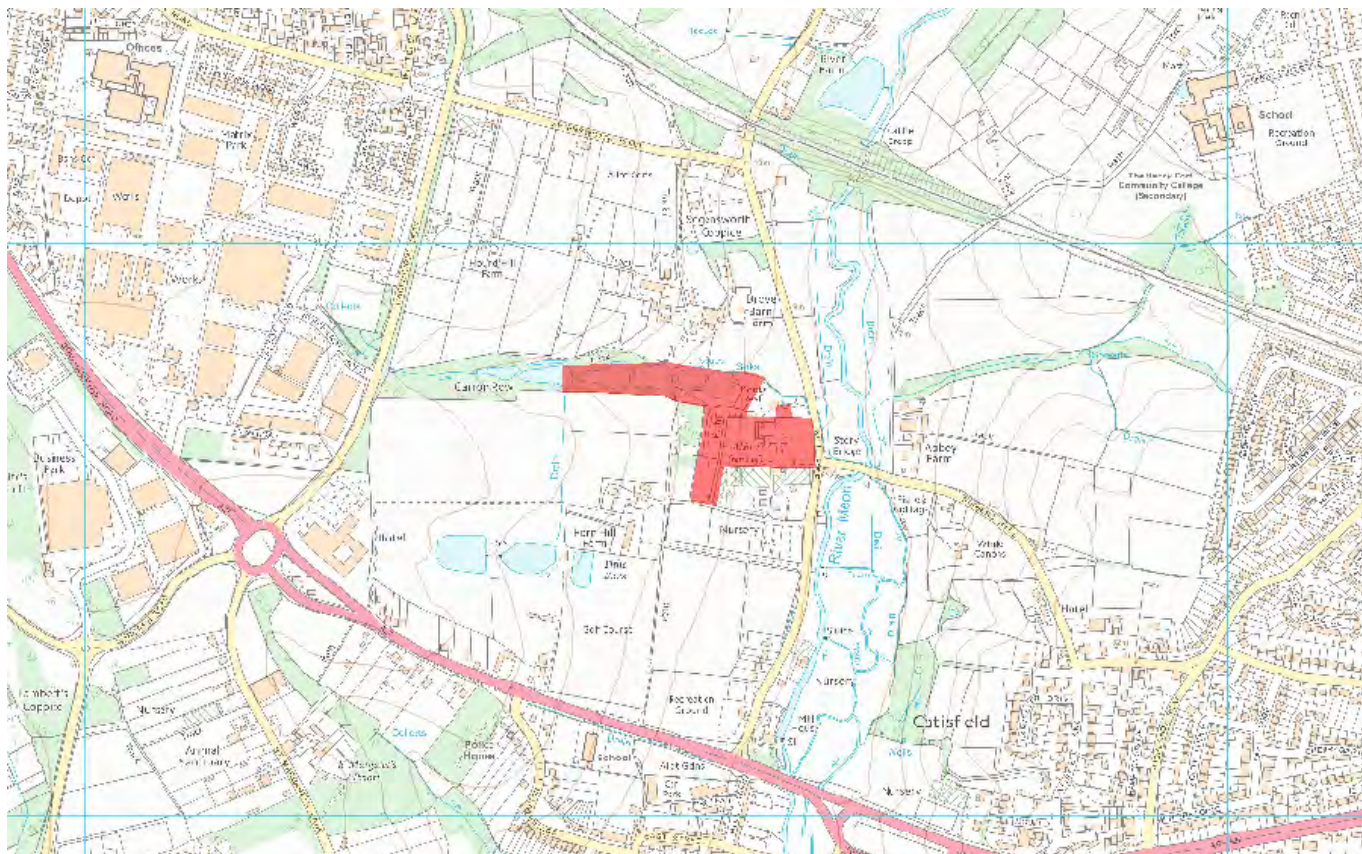
Heritage Category: Scheduled Monument

List Entry Number: 1014814

Date first listed: 13-Jan-1915

Date of most recent amendment: 18-Feb-1997


Map



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The above map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - [1014814.pdf](#) 

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This copy shows the entry on 26-Sep-2018 at 14:51:29.

Location

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Fareham (District Authority)

National Grid Reference: SU 54055 06754

Summary

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

From the time of St Augustine's mission to re-establish Christianity in AD 597 to the reign of Henry VIII, monasticism formed an important facet of both religious and secular life in the British Isles. Settlements of religious communities, including monasteries, were built to house communities of monks, canons (priests), and sometimes lay-brothers, living a common life of religious observance under some form of systematic discipline. It is estimated from documentary evidence that over 700 monasteries were founded in England. These ranged in size from major communities with several hundred members to tiny establishments with a handful of brethren. They belonged to a wide variety of different religious orders, each with its own philosophy. As a result, they vary considerably in the detail of their appearance and layout, although all possess the basic elements of church, domestic accommodation for the community, and work buildings. Monasteries were inextricably woven into the fabric of medieval society, acting not only as centres of worship, learning and charity, but also, because

of the vast landholdings of some orders, as centres of immense wealth and political influence. They were established in all parts of England, some in towns and others in the remotest of areas. Many monasteries acted as the foci of wide networks including parish churches, almshouses, hospitals, farming estates and tenant villages. The Premonstratensian order, or "White Canons", were not monks in the strict sense but rather communities of priests living together under a rule. The first Premonstratensian establishments were double houses (for men and women), but later they founded some 45 houses for men in England. The Premonstratensian order modelled itself on the Cistercian values of austerity and seclusion and founded all its monasteries in rural locations.

Titchfield Abbey, quietly situated in the valley of the River Meon, is a fine example of a Premonstratensian monastery. The surviving structures provide a good indication of the scale and importance of the monastic buildings while the associated fishponds provide evidence for both water management and for the economic importance of fish to both monastic and later communities. The surviving elements of the 16th century mansion are an example of the secular use of a religious complex in the years following the Dissolution of the Monasteries. Small scale excavations carried out in the early 20th century have clarified the layout of the focal monastic buildings. More recent excavations have shown the fishponds to have been constructed in the 13th century and to have been maintained in use after the Dissolution of the abbey in the 16th century. The main components of the monument are maintained in Guardianship and are open to the public.

History

Legacy Record - This information may be included in the List Entry Details.

Details

The monument, which lies close to the River Meon and to the north of the village of Titchfield, includes remains of the medieval monastery of St Mary and St John the Evangelist, converted in the 16th century into a mansion. Also included are the remains of ancillary buildings which lie to the west of the cloister and four medieval fishponds situated to its north west. The upstanding remains of the abbey include the cloister, used in the 16th century as the courtyard of the mansion, and the nave of the church which became its gatehouse. The four towers of the gatehouse, which flank and rise above the walls of the nave, form the most visually impressive element of the ruined structure. The position of the frater, chapter house,

library and the quire of the church are also known from archaeological investigations carried out by Sir William St John Hope in the early 20th century and are largely enclosed within a boundary wall of 16th century date. Beyond this to the west the north gable and west wall of a substantial stone building, probably of 16th century date, lie within an area which shows evidence of further structures. To the north west of the main complex of abbey buildings is a line of four (originally five) medieval fishponds, lying in a natural hollow running down towards the River Meon. Excavations carried out by C K Currie in advance of restoration works demonstrated that the construction of the ponds was started shortly after the foundation of the abbey in the 13th century and that they all continued in use after the Dissolution in the 16th century. Drains leading to the abbey and a pondside building, all of 13th century date were also discovered east of the dam of the lower pond. A further fishpond to the north of this line has been considerably altered during the 20th century and is not included within the scheduling. A tithe barn of pre-Dissolution date and associated with the monastery, lies 300m south west of the cloisters. This is Listed Grade I and is the subject of a separate scheduling. The Abbey of St Mary and St John the Evangelist was founded in 1232 by Peter de Roches, Bishop of Winchester, for Premonstratensian canons. The history of the abbey was uneventful and at the suppression of the monasteries in 1537 the monastic estate passed to Thomas Wriothesley. By 1542 he had converted the monastic buildings into the residence known as 'Place House' which survived little altered until the greater part of it was demolished in 1781. In the early 20th century, excavations carried out initially by Sir William St John Hope helped to clarify the layout of the focal monastic buildings. Part of the monument is in the care of the Secretary of State. All paths, tracks, fence posts, notices, sheds, shed bases, areas of hard standing, fishing platforms and structures abutting the north side of the 16th century boundary wall are excluded from the scheduling, although the ground beneath these features is included.

MAP EXTRACT The site of the monument is shown on the attached map extract.

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 26713

Legacy System: RSM

Sources

Books and journals

Currie, C K, Arch obs made during SMC work at Titchfield Abbey, 1987 and 89-91

Currie, C K, Arch obs made during SMC works at Titchfield Abbey, 1987 and 89-91

Currie, C K, Arch obs made during SMC work at Titchfield Abbey 1987 and 1989-91

Graham, R, Rigold, S E, Titchfield Abbey, (1985)

Currie, C K, 'Medieval Archaeology' in Titchfield Abbey, , Vol. Vol 30, (1986), 147-148

Currie, C K, 'Medieval Archaeology' in Titchfield Abbey, Carron Row fishponds, , Vol. Vol 29, (1985), 182-183

Hope St John, W H, 'The Archaeological Journal' in The making of Place House at Titchfield, near S'oton in 1538, , Vol. Vol 63, (1906), 230-243

Hope St John, W H, 'The Archaeological Journal' in The making of Place House at Titchfield, near S'oton in 1538, , Vol. Vol 63, (1906), 230-243

Hope St John, W H, 'The Archaeological Journal' in The making of Place House at Titchfield, near S'oton in 1538, , Vol. Vol 63, (1906), 230-243

Legal

This monument is scheduled under the Ancient Monuments and Archaeological Areas Act 1979 as amended as it appears to the Secretary of State to be of national importance. This entry is a copy, the original is held by the Department for Digital, Culture, Media and Sport.

End of official listing

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HER Record

HER ID: 6204, Southern Barn At Great Posbrook Farm

HER Summary: Late medieval aisled barn c.100ft long.

HER Category: Historic building

HER Web Link: No link available

Investigation Activities

- Type: Dendrochronology

Description: A series of samples were taken for dendrochronological analysis and the results demonstrated that Arcade post 1 had a felling date range of 1579-1590 and post 2 had a felling date range of 1608-1622.

Date Range: 2003 - 2008

- Type: Listing

Description: Late medieval aisled barn c. 100ft long. Weatherboarded with opposite double doors. Very steeply pitched half hipped tiled roof. (roof corrugated iron on l side). Massive timbers with tie beams, queen posts, collars and mostly arched braces with some straight ones.

Date Range: 1976 - 1976

- Type: Bar Survey

Description: Poor. This site is not secure and this building is very vulnerable to vandalism particularly fire. Site needs to be secured with security measures.

Date Range: 2006 - 2006

- Type: Bar Survey

Description: AS of 31/12/2005: Late Medieval aisled barn approximately 100ft. long. The future of the barn, which is surrounded by modern farm buildings, is uncertain. The site has been sold to a developer and the farmland it serves is in separate ownership.

Date Range: 2005 - 2005

Historic Events

- Type: Built

Classification: Aisled Barn

Form: Unknown

Description: See list description.

Date Range: 1400 - 1539

Hantsweb



HER Record

HER ID: 41438, Site Of Eastern Barn At Great Posbrook Farm

HER Summary: Site of C18 barn destroyed by fire. De-listed Feb 2001.

HER Category: Monument

HER Web Link: No link available

Investigation Activities

No Investigation Activities found

Historic Events

- Type: Burnt down

Classification: Barn

Form: No information available

Description: Barn destroyed by fire and subsequently removed from List.

Date Range: 1980 - 1990

- Type: Recorded Observation

Classification: Barn

Form: No information available

Description: C18 or earlier. Barn with brick plinth weatherboarded above. Half hipped tiled roof. Double opposite entrances. Eastern side aisled. Queen post roof with collars.

Date Range: 1700 - 1799

Hantsweb



HER Record

HER ID: 1486, Old Barn Cottage (Great Posbrook)

HER Summary: House (1500 AD-1899 AD)

HER Category: Historic building

HER Web Link: No link available

Investigation Activities

No Investigation Activities found

Historic Events

- Type: Listing

Classification: House

Form: No information available

Description: C16 house, altered in C19. Consists of 2 parallel ranges. The north range has exposed timber framing with herringbone brick nogging and very large external chimney stack. Some of earlier casements now bricked up.3 light sash

with glazing bars at 1st floor and attic window in gable above. Tiled roof. South facade has centre part with gable and 2 projecting wings. 2 and a half storeys. 7 windows including centre blank with sundial. 2 dormers and attic window in gable. Sashes with late C19 glazing. 6 panelled door, top 4 panels now glazed, moulded architrave and large flat hood on brackets. To west 1 and a half storey section with 2hipped dormers and sashes with boxed frames. Interior has panelling of c17 and C18. C17 staircase and exposed beams. Massive wall post also exposed inside.

Date Range: 1500 - 1899

Hantsweb



HER Record

HER ID: 42528, Cartshed At Great Posbrook Farm

HER Summary: Cart shed (1865 AD-1899 AD)

HER Category: Historic building

HER Web Link: No link available

Investigation Activities

No Investigation Activities found

Historic Events

- Type: Recorded Observation

Classification: Cart Shed

Form: No information available

Description: Unlisted cart shed, with piggery outshut, at Great Posbrook Farm. Late C19. 6-bay, single-storey, timber-framed building. Open on north (main) and gable ends, rear (south) wall is of brick. Half-hipped roof of tile, on queen post

trusses; gables below half-hip, appear to have been weatherboarded. Attached to the rear (south) wall of the cart shed, is a 2-aisle, pent-roofed piggery of brick. Ten pig pens, form the south aisle, with exits for the pigs in the south wall (presumably leading to 'runs' which have been removed). [both structures were extremely dilapidated at time of SUIAG survey (20-feb-1991)].

Date Range: 1865 - 1899

Hantsweb



HER Record

HER ID: 42529, Stable At Great Posbrook Farm

HER Summary: Stable (1865 AD-1899 AD)

HER Category: Historic building

HER Web Link: No link available

Investigation Activities

- Type: Recorded Observation

Description: Unlisted former stables at Great Posbrook Farm, now converted into a chitting shed. Late C19. 2-storey building of brick, with a hipped tile roof.

Shallow, external, brick buttresses. All internal partitions and elements associated with the stable use, have been removed. The loft, accessed now externally via a staircase, remains, but is unused. Building presently used for chitting of seed potatoes.

Date Range: 1980 - 1990

Historic Events

- Type: Altered

Classification: Chitting House

Form: No information available

Description: See list description

Date Range: 1901 - 1991

Hantsweb



HER Record

HER ID: 50976, Wriothesley House (Great Posbrook)

HER Summary: House (1500 AD-1899 AD)

HER Category: Historic building

HER Web Link: No link available

Investigation Activities

No Investigation Activities found

Historic Events

- Type: Listing

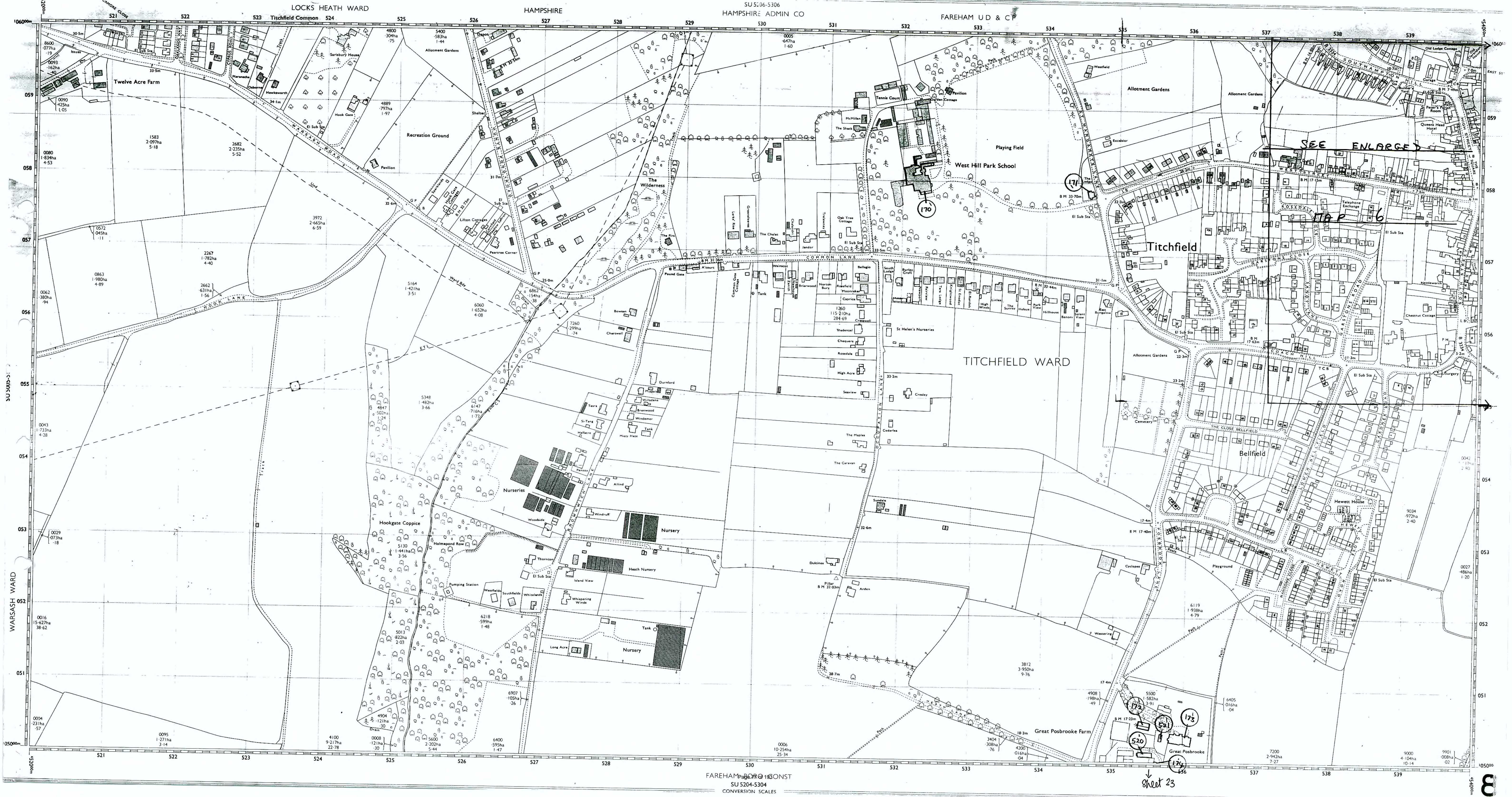
Classification: House

Form: No information available

Description: C16 house, altered in C19. Consists of 2 parallel ranges. The north range has exposed timber framing with herringbone brick nogging and very large external chimney stack. Some of earlier casements now bricked up.3 light sash

with glazing bars at 1st floor and attic window in gable above. Tiled roof. South facade has centre part with gable and 2 projecting wings. 2 and a half storeys. 7 windows including centre blank with sundial. 2 dormers and attic window in gable. Sashes with late C19 glazing. 6 panelled door, top 4 panels now glazed, moulded architrave and large flat hood on brackets. To west 1 and a half storey section with 2hipped dormers and sashes with boxed frames. Interior has panelling of c17 and C18. C17 staircase and exposed beams. Massive wall post also exposed inside.

Date Range: 1500 - 1899



L.A. Number

Civil Parish Street POSBROOK LANE
TITCHFIELD.

Item	Map Reference	Gde	GV	Date Listed	Notes
EASTERN BARN at Great Posbrook Farm	8/174 + 23/174	II	✓		18 c earthen. Barn with brickplinth weatherboarded above. Half hipped tiled roof. Double opposite entrances. Eastern side aisled. - Queen post roof with collars.
SOUTHERN BARN at Great Posbrook Farm	23/379	II*	✓		late-medieval aisled barn area 100' long. Weatherboarded with opposite double doors. Very steeply pitched half hipped tiled roof. (Roof corrugated iron on one side). Massive timbers with tie beams, Queen posts, collars and mostly arched braces with some straight ones.
STORE to NORTH WEST of EASTERN BARN at Great Posbrook Farm	8/520.	-	✓		18/early 19. Red brick with old tiled hipped roof. 2 storeys. 9 bays with brick pilasters between. 3 doors and 3 windows ground floor, 3 windows and 1st door 1st floor facing yard. 1st door has double 1st floor with host.
CARTSHED and PIGSTIES, at Great Posbrook Farm.	8/172.	-	✓		18. 9 bay fronted 6 bay cartshed with old tiled half hipped roof Arched braces. Extended south side to form 9 bay pigsties with weatherboarded roof and arched entrances.
SMALL BARN between CARTSHED and Great Posbrook.	8/521	-	✓		19/early 20. Blackish central gable small barn with half hipped old tiled roof.
End of group.					R 3336/6657 40m 5/71

Local List Entries

8/520 - Store to North West of Eastern Barn at Great Posbrook Farm, Posbrook Lane, Titchfield

18th/early 19th century. Red brick with old tiled hipped roof. 2 storeys. 9 bays with brick pilasters between. 3 doors and 3 windows ground floor, 3 windows and loft door top floor facing yard. Outer wall has double loft doors with hoist.

8/172 - Cart Shed and Pigsties at Great Posbrook Farm, Posbrook Lane, Titchfield

18th century. Open fronted 6 bay cart shed with old tiled half hipped roof. Arched braces. Extended south side to form 9 brick pigsties with weather boarded rear and arched entrances.

8/521 - Small Barn Between Cart Shed and Great Posbrook, Posbrook Lane, Titchfield

18th/early 19th century. Weather boarded granary, a small barn with half hipped old tiled roof.

APPENDIX 3.0

HISTORIC SOURCES

- A) EXTRACTS FROM “A HISTORY OF THE COUNTY OF HAMPSHIRE: VOLUME 3”, 1908
- B) EXTRACTS FROM “THE BUILDINGS OF ENGLAND HAMPSHIRE: SOUTH”, CHARLES O’ BRIEN, BRUCE BAILEY, NIKOLAUS PEVSNER, YALE: 2018

Houses of Premonstratensian canons: Abbey of Titchfield

Pages 181-186

A History of the County of Hampshire: Volume 2 (/vch/hants/vol2). Originally published by Victoria County History, London, 1903.

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Citation:

BHO ▼

'Houses of Premonstratensian canons: Abbey of Titchfield', in *A History of the County of Hampshire: Volume 2*, ed. H Arthur Doubleday and William Page (London, 1903), pp. 181-186. *British History Online* <http://www.british-history.ac.uk/vch/hants/vol2/pp181-186> [accessed 26 September 2018].

Keyword highlight

titchfield

Found 32

In this section

- HOUSE OF PREMONSTRATENSIAN CANONS
 - 17. THE ABBEY OF TITCHFIELD
 - Abbots of Titchfield

Footnotes

HOUSE OF PREMONSTRATENSIAN CANONS

17. THE ABBEY OF TITCHFIELD

The Premonstratensian Abbey of Titchfield, nine miles south-east of Southampton, was founded by Bishop Peter des Roches in the year 1222, when a colony of White Canons were invited to settle there from the Shropshire Abbey of Halesowen. By the foundation charter the Abbey of St. Mary ([fn. 1](#)) was endowed with the manor of Titchfield and its appurtenances, and with lands in Swanwick, Porchester, Walsworth and Cosham. This was confirmed, with grants of the fullest privileges, by Henry III. in 1231. ([fn. 2](#)) Other important grants were those of the manor of Cadlands and lands in Hythe, Stanswood, and Woodcott and Felde (in Fawley parish) by Eva de Clinton, daughter and heiress of Roger de Escures; the manor and lands of Inkpen (Berks) by the Mansels; the manor and lands of Corhampton and the wood of Charwood by the founder; lands in Stubbington and Chark by the Rayners, Bretts and St. Johns.

The Harley MSS. 6602 and 6603 contain transcripts and extracts from three Titchfield registers belonging to the Duke of Portland, which were made in 1739. Their accuracy is assured, for they were collated with the originals in 1830-1 by Sir F. Madden, and corrected in red ink. The first register gives a large number of grants and customs of manors; at the end is a list of abbots, ([fn. 3](#)) drawn up about 1390, when John de Romsey was abbot, and afterwards brought down to the eve of the dissolution. The following is a translation of the list:—

Richard, the first abbot, came from Halesowen with his brethren in the year 1222, and ruled this church well and religiously. He died on 16 June, and was buried before the door of the chapter-house.

Isaac was the second abbot; in his time the manors of Cadlands and Inkpen were acquired. He died on 19 June, and was buried in the cloister before the door of the chapter-house, on the right hand of the monument of the first abbot.

After his death, Henry de Branewyk succeeded him. He was afterwards sought as abbot of Halesowen, and there rested in peace.

To him Henry de Spersholte succeeded, in whose time the manor of Newland was acquired and lost. He died on 22 September, and was buried in the cloister.

To him succeeded Brother Yvo, in whose time the manor of Mirabel was acquired and lost. He died on 3 March, and was buried in the cloister.

Adam, third abbot of this church, ruled with honour. ([fn. 4](#)) He died on 14 September, and was buried in the cloister on the left of the monument of Abbot Peter de Wynton.

William de Byketon, the fourth abbot, was a venerable ruler of the church; he died on 8 November, and was buried in the church, at the altar of St. Richard.

John Sydemanton, fifth abbot, ruled well, and died on 3 December. He was buried in the cloister, between the door of the library on the south and the monument of Abbot Wynton on the north.

Roger de Candever, sixth abbot, ruled this church honourably and religiously for about eighteen years. He died on 5 August, and was buried in the cloister at the entrance to the church near the altar of St. Peter.

John de Combe, seventh abbot, in whose time the manors of Crofton and 'Fontelegh-Pageham' were acquired. He ruled this church for about twenty years, and died on 5 May, and was buried in the cloister, at the head of the monument of Abbot Roger de Candever.

Peter de Wynton, eighth abbot, ruled this house religiously for one year and six months. He died on 16 July, and was buried in the cloister between the monument of Abbot Adam on the north and Abbot Sydemanton on the south.

William de Wollop, ninth abbot, ruled this church in the best possible way for twenty years, nine months and three days. In his time the land and tenement of Markes and 'Brykoresland' were acquired and appropriated. He also acquired, but did not appropriate, the land and tenement of Ward, the land of 'Frogthemour,' the land of 'Firsteburiesland' at Chirk, and the tenements which were John Goudale's in Titchfield. Also in his days John Edindon gave his manor of Portsea and 'Copenore' to the priory. He died on 23 May, and was buried in the cloister, north of the monument of Abbot Candever.

John de Thorni, tenth abbot, ruled prudently over this church for nineteen years, thirteen weeks and five days; in his time the lands and tenements mentioned under his predecessor were all appropriated. He died on 30 September, and was buried in the cloister at the feet of the image of the Blessed Virgin, which he had erected there in honour of the Mother of God by a buttress.

John de Romsey, eleventh abbot of this church, ruled honourably. ([fn. 5](#))

Thomas Bensteade, thirteenth abbot, ruled well, and resigned his staff under compulsion.

William Winchelsea, available from was private page 64, and ruled six and a half years.

history.ac.uk/privacy). [Give me more info](#)

William Auyten, fifteenth abbot, ruled this church well for sixteen years. He built the house commonly called 'The Grete Place.' He also restored the windows of all the chambers, and built another house near the cross in the body of the town. He died 25 October, and was buried near the monument of John Thorny.

Thomas Coyk, sixteenth abbot, ruled for twentyone years.

Thomas Blankpayn, seventeenth abbot, ruled for twenty years, and resigned on a pension.

The Rev. Father John, Bishop of Elphin in Ireland, abbot *in commendam* of Welbeck and Titchfield, prebendary of York and Southwell and visitor of the Premonstratensian Order, the eighteenth abbot, rebuilt the ruinous church.

The second register opens with an account of the library, as catalogued in the year 1400. It is often forgotten how large a portion of his time the professed monk or canon was expected to give to the study of the Scriptures and of other literature. This was particularly the case with the order of Prémontré. The rule of the White Canon was in this respect more stringent and definite than that of the Black Canon, as appears in various particulars. The office of librarian was joined to that of chanter in the Austin houses, but was a separate office in the Premonstratensian houses. The later canons were distinctly invited to study not only the Scriptures, but theology, philosophy and *Literæ Humaniores*. The original statutes are much more precise as to the times of reading than those of the Black Canons. The Premonstratensian rule provided that after sext, which followed immediately after high mass, the time was to be given to reading (whilst the servants and reader dined) until the bell rang to enter the frater. In the winter most of the convent had light refreshment (*mixtum*) after terce, and dinner was not served until after nones; and in that half of the year the long interval between sext and nones was assigned to reading. Again, after evensong throughout the year, there was reading until the bell sounded for collation. (fn. 6) The importance of reading is emphasized by a special chapter being assigned to *Quomodo se habeant fratres tempore lectionis*. (fn. 7) All the brothers were to read at the appointed hour, save those engaged on necessary duties, and they were to make all speed to attend lection. They were to sit in cloister when reading, conducting themselves with all decorum, each reading his own book, save those who might be singing from antiphoners, graduals, or hymnaries, or giving readings to others. If any one was obliged to leave he was to replace his book in the case, or if he wished to leave it on his seat to signify by sign to a brother sitting near that he left it in his custody. At all times of lection the brothers were to wear their slippers (*nocturnalibus botis*). No manuscript was to be kept in the cloister carrols nor in the dormitory chests without leave of the abbot.

The librarian, called *armarius*, from the *armarium* or case in which the books were kept, was to mend and care for the books and to open and shut the case as required. He was to mutually assign and change the books as they were wanted, but not without leave of the abbot or prior, or without making an entry. He was also required to keep a numbered list of the books. (fn. 8) The Premonstratensian rule underwent various changes on the authority of the General Chapter in the seventeenth century, and was finally revised in 1630. The librarian was then termed *bibliotbecarius*; he was ordered to arrange his books, in the place where they were kept, according to their subject or faculty. (fn. 9) This had been done at Titchfield for at least two and a half centuries before the passing of this revised statute.

The usual places for books in religious houses were cases in recesses of the cloister. It was not until a comparatively late period that a few of the larger houses thought of providing a special room or building for the library. (fn. 10) Titchfield was only a daughter house of no great wealth, and from its having in 1400 so large and valuable a library in a special apartment opening out of the cloister, and from the general character of the White Canons as a reading order, it may perhaps be assumed that the Premonstratensians usually had a particular chamber to serve for the books or manuscripts.

There were in the library of Titchfield, as is specifically described, four cases (*columna*) wherein to place the books. It would seem that the door was on the west side of the chamber, for there were two cases against the east wall, a third against the south wall and a fourth against the north wall. Each of these cases had eight shelves (*gradus*), marked with a letter of the alphabet, representing a division of the library and not the special shelf. In case I., were the Bibles and the patristic glosses on the different books; II., the Fathers and general theology; III., sermons, legends, rules and canon and civil law; IV., medical and surgical works, grammar, logic, philosophy and varia. The alphabet letters gave further classification; thus B was affixed to seven shelves of case I., containing the glosses on the Scriptures; and D was marked on five shelves of case II., whereon stood the works of St. Augustine and St. Gregory. The first folio or the cover of each volume contained not only the shelf letter, but a number indicating its position on the shelves. The very volume that gives the library list has on its first page the mark 'P.x.' On turning to the catalogue there is found entered *Rememoratorium monasterii et omnium maneriorum de Tycbefeld*, as the tenth book on shelf P.

The total number of volumes was 224, but it must be remembered that many of these MS. volumes contained a variety of treatises, which if printed after modern fashion would make several separate books. (fn. 11)

Several of the other volumes of this library must have been of exceptional bulk or unusually close writing. Only one book is named as written in English, viz. a copy of the *Golden Legends* (E. vii.); but under the letter Q are various books in French. Among the more curious theological tracts may be mentioned: *De ortu et educatione Pontii Pilate*, and *De ortu Judee Iscaritis*. At the end of the library catalogue a list is given of upwards of a hundred other volumes pertaining to the divine office, and usually kept in the church.

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The library catalogue is followed by an itinerary or distance in miles, of the various English houses of White Canons from Titchfield; the nearest being Duford in Sussex, 16 miles, and the most remote Alnwick in Northumberland, 276 miles. (fn. 12)

The next matter that is illustrated in this interesting register is the very serious way in which the monasteries, in common with the rest of the country, suffered from the awful Black Death of 1349-50. The local annalist cites an inventory of the monastery and its manors and granges of the year before the plague. In the eighth year of the rule of Abbot Peter de Winton, namely on 4 July, 1348, the monastery and its manors had 170 quarters of wheat, 175 of barley, 198 of oats and 22 of winter wheat; also 41 horses, 24 draught horses (*affri*), 30 oxen, 9 bull-calves, 182 bullocks, 10 bulls, 93 cows, 118 heifers, 20 calves, 273 swine, 940 muttons, 18 rams, 137 ewes and 768 lambs. In the tenth year of Abbot John Thorny, namely on 27 June, 1370, the condition of the monastery was so exhausted and its burdens so heavy that there was no wheat in the house or in its manors, and but 5 quarters of barley, 2 quarters of dredge (*fn. 13*) and 16 quarters of oats. As to livestock, they had 23 horses of both kinds, 27 oxen, 21 colts, 190 bullocks, 10 bulls, 66 cows, 44 steers, 38 heifers, 16 yearlings, 24 calves, 9 boars, 20 sows, 50 pigs, 100 hogs, 25 suckling pigs, 780 muttons, 19 rams, 550 ewes and 280 lambs.

The chief reason of the great contrast in bread stuffs between 1348 and 1370 (when it might have been thought that the country would have recovered from the shock of the plague), was that the great scarcity of labour and its higher price caused so much of the arable land to remain untilled or to be changed into pasture.

In 1370 an inventory was also taken of the plate as follows:—

A small cross with foot, silver gilt; a gospeller (*textus*), silver-gilt (cover) adorned with relics; a crystal vase for relics; 17 chalices, of which 9 were gilt; a silver-gilt pix for the high altar; 4 silver cruets; 6 silver bowls, of which 2 are large and 4 smaller, for double feasts; 2 pastoral staves; 3 silver candlesticks, one of which is small for midnight mass on Christmas Day; 3 silver-gilt censers; 4 silver-gilt cups, 3 with covers; 3 great silver goblets (*bollæ*) with feet, with covers; 42 pieces (*pecie*) of silver, 5 of which have small feet and covers; 5 '*once pedate*,' (*fn. 14*) with silver covers; 2 flagons (*olla*) of silver, for wine; 2 small silver basins (*lavatoria*); a silver plate with a foot; a silver gilt pipe (*fistula*) for communicating the infirm; and 81 spoons.

There was no money found in the treasury, and the debts of the house amounted to the serious sum of £202 16s. 9d. (*fn. 15*)

At the end of the second register of Titchfield is written out this prayer, to be said with the greatest devotion on getting into bed:—

In Monte Celyon requiescunt Septem Dormientes, Malchus, Maximus, Constantinus, Dionysius, Serapion, Martinianus, atque Johannes. Per istorum merita det michi Deus noctem quietam et soporem quietam. Amen.

To this is added—

Hæc oratio abunde testatur quibus in tenebris istud versabatur seculum.

The reference is of course to the beautiful Syrian legend of the Seven Sleepers of Ephesus, first made known in western literature by Gregory of Tours.

In the third register of Titchfield, which is termed a rental, particulars are given of the customs of their manors.

In 1334 the king's officials of the New Forest seized certain cattle belonging to the Abbey of Titchfield, for continuous feeding within the bounds of the forest to the grave prejudice of the king. (*fn. 16*) The abbot claimed through his attorney the right of common pasture for his beasts of Cadlands in the New Forest; the abbot also claimed a parcel of land within the forest, lying in la Whitefeld at 'Wyndhall,' as part of his manor at Cadlands. The chief forester, on the part of the Crown, admitted the abbot's right to the parcel of land within the forest, but that his cattle and sheep did not remain there, and strayed generally in the forest. To this the abbot's attorney replied that they made an annual payment of 18s. for this very right, and prayed a search of the rolls. Search was made and judgment was given in favour of the abbey.

By the aid for making Edward the Black Prince a knight in 1346, we find that the Abbot of Titchfield held half a knight's fee in Soberton, half a fee and a quarter of a fee in Crofton and a third part of a fee in Cadlands. (*fn. 17*)

The Premonstratensian Order was absolutely free from diocesan visitation or control, but the energetic Wykeham secured certain recognition from Titchfield as a house founded by one of his predecessors in the episcopal chair of Winchester.

On 20 November, 1390, Richard, abbot of Halesowen, presented John Romsey, abbotelect of Titchfield, appointed by the brethren of that convent, rightly and canonically, according to the privileges of their order (to which house he stood in the position of father abbot), to Bishop Wykeham, praying for his benediction. Abbot Romsey made his due profession to the bishop, describing himself as elected and confirmed, recognizing the bishop as (through his predecessor) the founder of their house, and promising to do all things which pertained by right or custom to the founder and patron of the house. Even to this recognition of the bishop, the abbot added the qualifying phrase providing against anything contrary to all the customs and privileges of his order. The bishop thereupon, when celebrating pontifical mass in his private chapel, after the abbot had signed a promise of canonical obedience and reverence, gave him his benediction. (*fn. 18*)

The houses of the White Canons were visited yearly by the father-abbot, that is, the abbot of the house from which they had their origin, save in those years when there was an authorized visit by commission of the General Chapter of Prémontré. On 12 June, 1420, Titchfield was visited by John Poole of Halesowen, as father abbot, with the assistance of the Abbot of Durem, at a time when there had been a vacancy in the office of abbot, and when Richard Aubrey, the prior, had been elected by his fellow canons to fill the post. Abbot Poole duly confirmed the election. The visitors found that there was no money in the treasury, that there was owing to the house 243 4s., but that the debts amounted to 562 0s. 6d. A return was made of the valuables both in the sacristy

and the treasury. This inventory corresponds in the main with that of 1370; the silver spoons had increased from 81 to 84, whilst the chalices had decreased from 17 to 14. The livestock was: 24 horses, 10 draught horses, 4 colts, 154 oxen, 7 bulls, 69 cows, 17 heifers, 10 steers, 28 yearlings, 29 calves, 381 muttons, 207 '*burtis et muricis*,' 121 hogsters, 100 lambs, 17 boars, 24 sows, 33 pigs, 126 hogs and 89 suckling pigs. Neither in the granary nor bakehouse was there anything. There was hay enough, at a reasonable estimate, to last till the Assumption for use at their hospice. (fn. 19)

Titchfield was visited in 1478 by Richard Redman, Bishop of St. Asaph and Abbot of Shap, in conjunction with Hubert, commissarygeneral. In answer to the set form of visitation questions, it was stated that the Abbot of Halesowen was their father abbot, that their church was dedicated in honour of the Assumption of the Blessed Virgin, because on that day one Brother Richard, with other canons of Hayles, had first come to Titchfield, and that they held two churches, the perpetual curates of which were both canons. (fn. 20)

On 3 July of this year one Thomas Borrell, canon of the house of Langley, Norfolk, was sent to the Abbot of Titchfield to undergo in the latter house forty days of penance for a grave fault. This was done in accordance with the decree of Bishop Redman as visitor. Thomas brought with him sufficient clothing for his body and bed, to last a year. The Abbot of Langley commissioned his brother of Titchfield to hear the penitent canon's confession. (fn. 21)

The *Valor* of 1535 gives the gross income of the abbey at £280 19s. 10½*d.* and the clear value at £249 16s. 1*d.* John Maxey, Bishop of Elphin, was then abbot.

John Salisbury, the twentieth and last abbot, was consecrated suffragan Bishop of Thetford on 19 March, 1536, by Archbishop Cranmer and the Bishops of Salisbury and Rochester. (fn. 22) In May, 1538, he was appointed Canon of Norwich, and in the following year dean; in 1571 he was made Bishop of Sodor and Man, and died in 1573.

On 1 May, 1537, the Bishop of Thetford wrote to Wriothesley saying that he intended to send his steward to him the next week to pay his fee for the half year, and desired that he would continue his favours to his poor house. (fn. 23) The income of the house put it outside the first Act of Parliament for dissolution, and for such cases a variety of schemes for 'surrender' were devised. Apparently Salisbury had been put in office, through some cajolery, to secure surrender. Sir Thomas Audeley, the chancellor, wrote a letter of reply to Cromwell in December, 1537, touching the dissolution of this house, and saying that a deed of gift by the abbot and convent, if they were content to give up their house, sealed before some judge of record, would suffice; but if Cromwell wished to have a fine or recovery he explained how it might be taken. (fn. 24)

Meanwhile John Crawford and Rowland Lathum were made the king's commissioners to secure the surrender of Titchfield, which was promised to Wriothesley. The commissioners wrote to him on 22 December, 1537, saying they had made careful inquiries of the state of the monastery and how many grants had been passed under the convent seal. They described the church as being most naked and barren, being of such antiquity, saying that 40*s.* would buy all except the vestment Wriothesley had given and two old chalices. Evidently the canons had had plenty of warning, and had before this stripped their church of its valuables. It would be interesting to know what became of their library. At Michaelmas last there were two team of oxen, but now not one ox. They found a dozen rusty platters and hangings worth 20*s.*, and described the lands as very ruinous. The abbot and convent confessed to having granted pensions to the old abbot and others to the extent of £50 per annum. The debts amounted to £200; the abbot and convent expected to be assured of £135 a year for their lives, 100 marks to the abbot, £6 13*s.* 4*d.* to each of eight priests and £5 each to three novices. The house owed the king above 200 marks for first fruits, and the expense of alterations would be at least 300 marks; so the commissioners were right in assuring their patron that his first entry would be expensive. (fn. 25)

Though Crawford and Lathum wrote on 22 December of Titchfield as 'the late monastery,' the formal surrender by John, 'perpetual commendatory of the abbey' and the convent, of the house, with all its possessions in Hants, Berks and elsewhere, was not signed until 28 December. (fn. 26) Thomas Wriothesley at once obtained a grant in fee simple of the site, church and the whole of the possessions of the abbey in Hampshire, including the advowsons of the churches of Titchfield, Lomer and Corhampton, as well as of the manor and lands of Inkpen in Berkshire. (fn. 27)

On 2 January, 1538, the commissioners, Crawford and Lathum, wrote to Wriothesley thanking him for his new year's gift, mentioning the sale of marble stones, altars, etc., from the conventual church, and making light of the plucking down of the church in a scandalous letter already cited. Later in the same month Wriothesley received news from Titchfield that the carpenter had stayed in his work of pulling down the church because he was 'loath to adventure with him before the change of the moon, and that the pavement of the nave was taken up, but scarce the tenth tile saved because they were so worn.' (fn. 28) Two more letters were written by Crawford to Wriothesley in the following April, wherein he described the alterations in progress at Titchfield, and stated that he had offered the bells to one Mr. Myls for £60. (fn. 29)

At the time of the dissolution the possessions of the monastery were the manor of Wyker in Porchester, the manors of Titchfield, Abshot, 'Posbroke,' 'Newcourt Parva,' Fontley, Swanwick, Croft on, Mirables, Newland, Walsworth, Portsea, Copner, Cadlands, Corhampton, various lands, etc., in Wickham, 'Warishassefeld,' Brooke, Porchester and elsewhere; the rectories of Titchfield, Lomer and Corhampton, and the manor of Inkpen in Berkshire. (fn. 30)

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When Leland visited Titchfield he wrote in his *Itinerary*: 'Mr. Wriothesley hath builded a right stately House embatelid, and having a goodely Gate, and a conducte castelid in the Midle of the Court of it, yn the very same Place wher the late Monasterie of Premostratences stooode caullyd Tichefelde.' (fn. 31)

Abbots of Titchfield

Richard, (fn. 32) 1222

Isaac

Henry de Branewyk

Henry de Spersholte

Yvo

Adam

William de Byketon

John Sydemanton

Roger de Candever

John de Combe

Peter de Wynton, elected about 1340

William de Wallup

John de Thorny, elected about 1360

John de Ramsey, elected about 1379 (fn. 33)

Richard Aubrey, 1420

Thomas Bensteade

William Winchestour, alias Fryer

William Auyten

Thomas Coyk

Thomas Blankpage

John Maxey, Bishop of Elphin, about 1535-6

John Simpson, 1536, resigned in the same year (fn. 34)

John Salisbury, 1536-7

Footnotes

1. The church was dedicated in honour of the Assumption of the Blessed Mary (Add. MSS. 4935, f. 61).

2. Dugdale's *Monasticon*, vi. 931.

3. Harl. MS. 6602, pp. 140-3; f. 214 of the original register.

4. It is not easy to understand why Adam is called the third abbot when he appears to have been the sixth; it may be that the three abbots before Adam succeeded each other rapidly, and were never duly confirmed.

5. From here the entries are in a later hand.

6. *Statute Ordinis Premonstraten'* (printed 1530), Distinctio I. caps. vi. vii.

7. Ibid. Dist. I. cap. ix.

8. *Statuta Ordinis Premonstraten'*, Dist. II. cap. vii.

9. *Statuta Ordinis Premonstratensis Renovata* (1630), Dist. II. cap. xiv. p. 109.

10. See Gasquet's *Notes on Mediæval- Monastic Libraries* (1891); James' *Catalogue of MSS., Peterhouse, Cambridge* (1899); and Willis Clark's *Customs of Austin Canons* (1897).

11. Thus the library of the great Benedictine Abbey of Peterborough only numbered 268 volumes, but these contained about 1,700 works.

12. This list corresponds with that of the whole order compiled in 1320, as given in Le Paige's *Bibliotheca Prem. Ord.* (1633), p. 33.

13. *Dragium* is considered by Thorold Rogers (*Agriculture and Prices*, i. 27) to be a peculiar and inferior kind of barley; but the term dredge is still used for a mixture of barley and oats.

14. No satisfactory solution of *ance* has been suggested.

15. A third schedule dated 9 November, 1390, is also entered in this register.

16. Harl. MS. 1603, ff. 130-3.

17. *Feudal Aids*, ii. 336, 340.

18. Winton. Epis. Reg., Wykeham, i. ff. 208, 209.

19. Dugdale's *Monasticon*, vi. 935.

20. Add. MS. 4935, f. 61. The Premonstratensians possessed the unique privilege of eligibility to the charge of secular parishes without papal or other dispensation. Bishop Redman, who held the Abbey of Shap *in commendam*, was consecrated Bishop of St. Asaph in 1471, was translated to Exeter in 1495 and to Ely in 1501; he died in 1505.

21. Ibid. 4935, f. 62.

22. Cant. Archiep. Reg., Cranmer, ff. 187-8.

23. *Letters and Papers, Hen. VIII.* xil. 1108.

24. Cott. MS. Cleop. E. iv. ff. 195, 198.

25. *Letters and Papers, Hen. VIII.* xii (2) 1245

26. Ibid. 1274.

27. Ibid. 1311 (40).

28. Ibid. iii. (1), 151.

29. Ibid. 1499. www.british-history.ac.uk/privacy. Give me more info

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30. The first Mins. Acct. after the dissolution, noted in Dugdale's *Monasticon*, vi. 935.
31. Leland's *Itinerary*, iii. 111.
32. Most of the names of the abbots are taken from the transcripts of the registers in Harl. MSS. 1602, 1603.
33. Winton Epis. Reg., Wykeham, i. ff. 208, 209.
34. Cole's MS. xxvii. f. 88. He received a pension of £20, but in 1538 he offered to resign it if Wriothesley would obtain for him the living of Horsted in Sussex (*Letters and Papers, Hen. VIII.* xiii. (1), 381, 728).



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The hundred of Titchfield: Introduction

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A History of the County of Hampshire: Volume 3 (/vch/hants/vol3). Originally published by Victoria County History, London, 1908.

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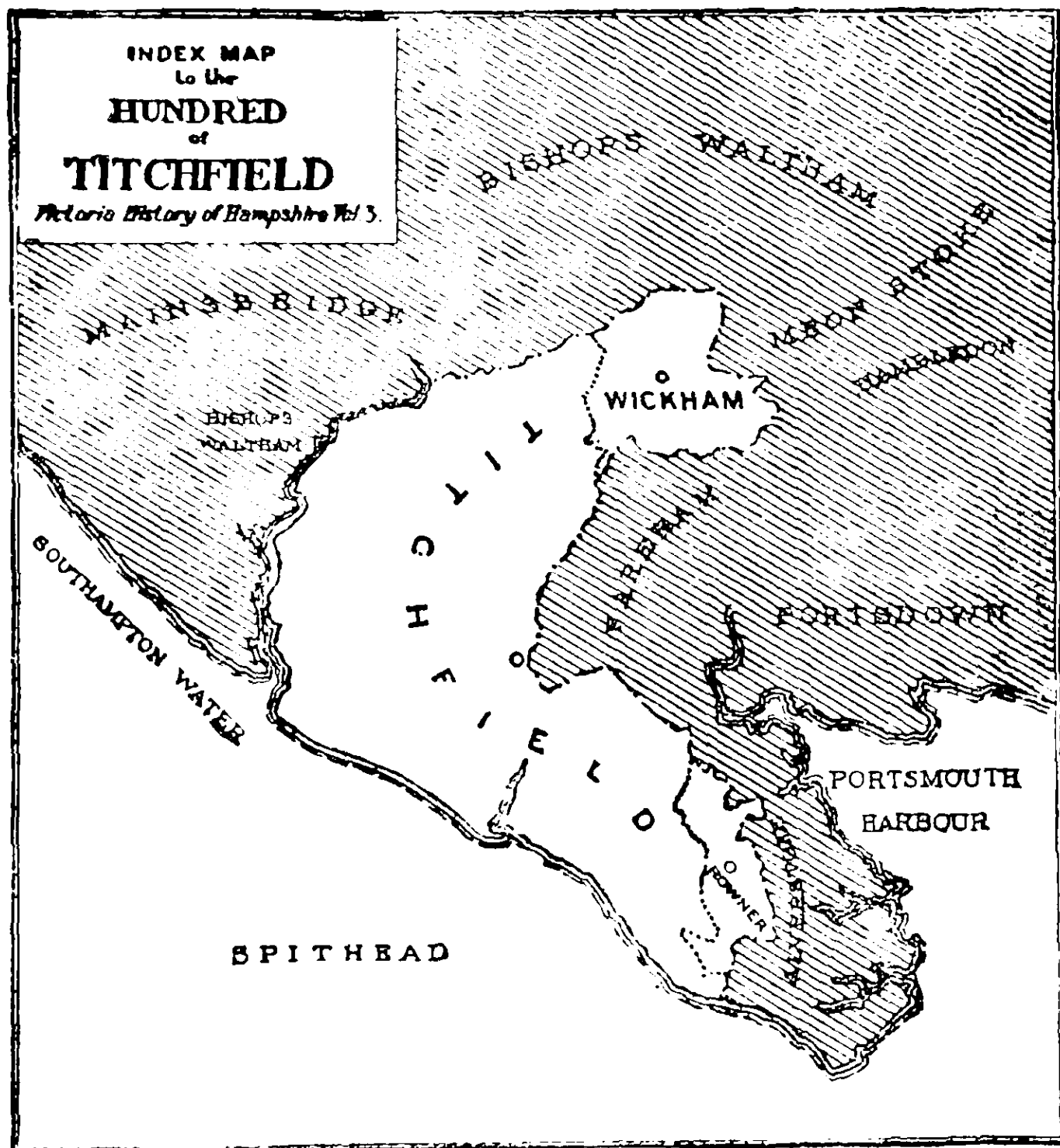
Footnotes

THE HUNDRED OF TITCHFIELD

CONTAINING THE PARISHES OF

ROWNER	TITCHFIELD	WICKHAM (fn. 1)
--------	------------	-----------------

The hundred at the time of Domesday included Titchfield, Faccombe, Meon, Bromwich, Bentley, Crofton, Funtley, Wickham, Segenworth, Hook, Stubbington, and Rowner, and it was assessed at 46 hides. (fn. 2) It belonged to the crown and appears to have been farmed occasionally, its value in 1266 being 58s. 4d., (fn. 3) though by the reign of Richard II it was reduced to 30s. (fn. 4) By the beginning of the fourteenth century the area of the hundred had been materially reduced. First the abbot of Titchfield withdrew his suit in respect of his manor of Swanwick in Titchfield parish, and being called upon in 1279 to show by what warrant he claimed to do so, pleaded successfully the charter of Henry III, granting to Titchfield Abbey freedom from service at the courts of the shires and hundreds. (fn. 5) Earlier in the same century Peter des Roches transferred the suit of Bromwich manor to Fareham; in 1279 William de Valence, being summoned for neglecting to pay the suit due from his manor of Hook, pleaded that Hook was a member of his manor of Newton Valence, which was exempted from suit at the courts of the shire and hundred, and his claim was allowed. (fn. 6) In the same year John of Brittany withdrew his suit in respect of his manors of Crofton, Lee Markes, and Funtley, and as he did not appear the sheriff was ordered to distrain upon his land. (fn. 7) These withdrawals had reduced the hundred in the time of Edward I to Wickham, Rowner, Stubbington, and Segenworth. By 1316 Prallingworth and Bonewood had been added and Faccombe and Bentley had been transferred to the hundreds of Pastrow and Thorngate respectively, while the king had recovered his suits of Funtley and Crofton. (fn. 8) In 1651 the hundred consisted of the tithings of Rowner, West Hook, Chark, Wickham, Great Funtley, Little Funtley, and Stubbington, (fn. 9) all of which are in the hundred of Titchfield to-day, with the exception of Prallingworth.



INDEX MAP to the HUNDRED of TITCHFIELD

Footnotes

1. According to the *Pop. Ret.* 1831.
2. *V.C.H. Hants*, i, 456*b*.
3. Chan. Inq. a.q.d. file 2, No. 31.
4. Add. MS. 33284, fol. 106.
5. *Cal. of Close*, 1227–31, p. 179; *Plac. de Quo Warr.* (Rec. Com.), 765.
6. *Ibid.* 765; Assize R. 788.
7. *Plac. de Quo Warr.* (Rec. Com.), 772; Coram Rege R. No. 70.
8. *Feud. Aids*, ii, 308, 309, 311.
9. Parl. Surv. 1651.

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BRITISH HISTORY ONLINE

Parishes: Titchfield

Pages 220-233

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 - POSBROOK
 - SEGENWORTH
 - CHURCHES
 - ADVOWSONS
 - CHARITIES

Footnotes

TITCHFIELD

Ticefelle (xi cent.); Tichefelde (xiii and xiv cent.).

The parish of Titchfield, containing 4,826 acres, of which 45 are covered by water, is situated to the south-west of the county, about 2 miles from the Solent. There are 1,491 acres of arable land, 1,239 of pasture, and 811 of woodland. (fn. 1) The ancient parish was of wide extent, its foreshore stretching 7 miles from the River Hamble to Stokes Bay, while it included Swanwick, Crofton, Lee, Stubbington, Hook, Funtley, Chark, Posbrook, Bromwich, Segenworth, and Meon. Of these, Crofton, with Stubbington and Lee-on-the-Solent. Hook with Warsash, and Sarisbury with Swanwick were formed into civil parishes under the Local Government Act of 1894; Sarisbury with Swanwick, Crofton, and Hook with Warsash having been previously constituted ecclesiastical parishes in 1837, 1871, and 1872, respectively.



Place House, Titchfield (from an Ancient Map)

The parish stretches about seven miles up the Meon valley, and has one mile of foreshore called Titchfield Haven on the Solent. The town itself is grouped round a central market-place, with streets leading from it on the north, south, and east. There are no buildings of any particular architectural merit, but the square is picturesque, and the Bugle Inn, with its bay windows, gives character to it. The stocks once stood here in front of the inn, and the market-house and cage, once in the square, are now set up in Barry's Charity Yard to the north-west. The market-house is a wooden building with an open lower story, part of which, inclosed with brickwork and lined with oak, was the cage. The fire engine used to be kept behind it. The church stands a short distance to the south-west of the square, and the rectory is close to it on the south. To the north the town extends along the Fareham road, and at the north-west the houses follow the road which runs northward to the ruins of Place House. The River Meon forms the eastern limit of the town, and though now a small stream, was formerly a tidal harbour, for in the beginning of the seventeenth century Titchfield was a port, and the site of the wharves can still be traced in the tanyard close to the church. The third earl of Southampton, however, wished to reclaim the large stretch of sea-marsh lying between the town and the haven, and for that purpose built a sea-wall across the river mouth, which was completed in June, 1611. In the parish registers this is noted as the 'shutting out of Titchfield haven by one Richard Talbottes industrie under God's permissione.' The main road from Southampton to Fareham passes through the town, and the London and South-Western Railway crosses the parish from east to west, the nearest station being Fareham, about two miles distant. To the north are the ruins of Place House, being the buildings of the Premonstratensian Abbey converted into a mansion by Thomas Wriothesley, first earl of Southampton, and where his son Henry entertained both Edward VI and Elizabeth. In 1625 Charles I brought his bride to Titchfield immediately after their marriage, (fn. 2) while the State Papers for 1675 contain many allusions to the king's visit to Titchfield in that year, where he

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dined with Edward Noel, afterwards lord-lieutenant of Hampshire. (fn. 3) In November, 1688, when the Dutch invasion was imminent, 'Lord Gainsborough's house Titchfield' was taken for the queen presumably as a convenient point from which to escape to France. (fn. 4)

A bridge over the Meon close to Place House bears the date 1625. West Hill, a large house on rising ground west of the town, belongs to the executors of James Dredge, C.M.S., late owner of *Engineering*. St. Margaret's is a large red-brick house on high ground to the west of the town: a long range of building with picturesque chimneys and a tower at the south end. It appears to be entirely of early seventeenth-century date, with much of its original wooden framings, and stands in a pretty garden surrounded by a belt of trees. Several industries formerly of importance have now almost entirely disappeared, amongst them brick-making, of which the only remaining trace is a field called 'Clay-pits.' A garden called Skin House Piece marks the site of a building where parchment-dressing was formerly carried on. Gravel was worked at Meon in former days, and salt was obtained by evaporation from Hook and Warsash, where the name 'salterns' still survives. At Funtley in the north of the parish are the ruins of an old mill—the iron mill where ore was smelted, local ironstone being used. Early in the seventeenth century the third earl of Southampton, alarmed at the decay of trade caused by the suppression of the monastery, started a woollen industry, and men were brought from Alton 'to teach the poor the art of weaving.' The experiment was not altogether successful, although the older inhabitants can still remember the time when blankets were manufactured in the parish. The chief local industry to-day is strawberry growing; Titchfield Common, formerly called Swanwick Heath, and until comparatively recent times a stretch of waste heather land, being now cut up into small allotments generally consisting of a few acres of strawberry fields round a cottage. In the strawberry season every available person is employed in picking the fruit, the schools are closed, and all the children go to work in the strawberry fields. Swanwick is the chief station for this trade, a special staff and special trains being provided by the railway company during the busy season. Market gardening on a large scale is carried on in the parish, Titchfield supplying most of the cabbages for the Royal Navy, while turnip greens are largely grown for the London market, 'green cutting' being a recognized industry among the girls of the locality. There is a large tannery in the town on the site of the old wharves, and a jam factory on the common belonging to the Army and Navy Stores. Titchfield mill, probably the one mentioned in Domesday and later as being worth 20s., (fn. 5) is in the town on the Meon, and there is a windmill on Peel Common at Crofton. Though no traces of any dovecots remain, there is a field called the 'Dovecot' near Place House.



St. Margaret's, Titchfield

Crofton and Stubbington consist of a few dozen cottages and farms scattered over a tract of flat country, and only round the green in Crofton is there anything in the nature of a village. Crofton House, south-east of Titchfield, belongs to Col. Boyd, and Stubbington House, which stands at the corner of the green, is used as a naval school. Its bell is said to have come from Place House at Titchfield. More information about the work of the parish is available on our privacy page (<http://www.british-history.ac.uk/privacy>). [Give me more info](#)

House, and now, from its isolated position, used as a smallpox hospital. In late years old land drains have been discovered near the house filled in with deer's horns. Lee-on-the-Solent is a modern watering place, there being very little more than the site to mark its ancient history.

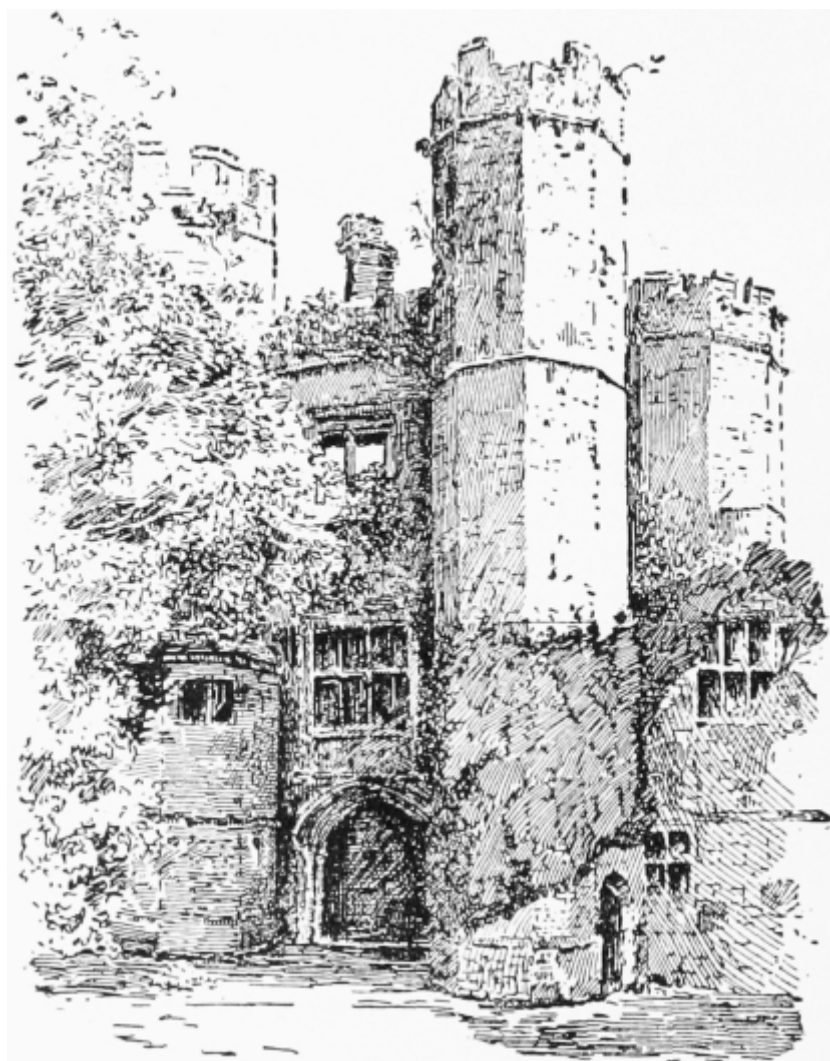
Sarisbury, Locks Heath, Swanwick and Lower Swanwick form a modern parish on the east bank of the River Hamble. At Sarisbury there are two or three inns, a church, a schoolhouse, and a few cottages standing round a stretch of village green, along the north side of which runs the Southampton road. Swanwick is merely a collection of modern red-brick cottages straggling up the stretch of hill which leads from the railway station to the Southampton road. Lower Swanwick is a picturesque village lying on low ground along the east bank of the Hamble. Brooklands, a large house on the Hamble River, is the residence of Lt.-Col. Babington, J.P., and Cold East, south of the main road, belongs to Mr. Claude Montefiore. Sarisbury Court is the residence of Mr. W. Sarton. Curbridge is a tiny hamlet in the north of the parish.

Hill Head consisted, till lately, of a few cottages and fishermen's sheds at Titchfield Haven, but is now developing into a seaside resort with rows of houses along the shore. Chillinge is a desolate-looking house of Elizabethan date, now cut up into two cottages, standing alone by the seashore a little to the east of Hook. Hook House Park, east of the parish of Hook with Warsash, is well wooded, but a large tract of bare heather land stretches from there to Warsash. A great part of it is now being brought under cultivation as strawberry ground. Hook House, built by Mr. William Hornby, governor of Bombay, at the end of the eighteenth century, which was a reproduction of Government House, Bombay, was burnt down a few years ago. From Warsash House, the property of G. A. Shinley, the road descends a sharp hill to the shore where, by the Crab and Lobster inn, the crab tank of the well-known local industry is built. The village of Warsash is small, and its inhabitants are chiefly employed in the crab and lobster trade, which occupies them through the late autumn, winter, and spring, many of them in the summer working as sailors on the many yachts which make their head quarters in the Solent and Southampton Water.

The remains of the buildings of the Premonstratensian abbey of St. Mary, Titchfield, stand at a little distance to the north of the town. Founded in 1222 for a colony of White Canons from Halesowen, the ruins show that the church and claustral buildings were completed within a few years of the foundation, and, as far as can be judged, survived without material alteration till the suppression. The note in the register of the abbey (Harl. 6602, fol. 140–3) mentioning that John bishop of Elphin, eighteenth abbot, c. 1535, rebuilt the ruinous church, may refer to work done in the now destroyed east end. The church had an aisleless nave, a central tower, transepts with eastern chapels, and a presbytery, the whole being vaulted in stone. The cloister lay on the north of the church, the parlour, chapter-house, and warming house being on the east, and the dormer over them, extending with its subvault a considerable distance northwards; the frater with its subvault on the north, having the kitchen at its west end, and the cellarer's building and great guest hall on the west. The site of the infirmary is uncertain. The only parts of the church now standing are the nave walls and the lower part of the west wall of the south transept. The nave was vaulted in six bays, each bay being lighted by a pair of tall lancets, below the sills of which ran a moulded string at which the vaulting shafts stopped. The pulpitum seems to have stood in the west arch of the tower, with the east doorway from the cloister immediately to the west of it. Part of the west cloister door is also preserved, and in the western bay of the nave on the south is a third doorway, built up, but retaining a consecration cross on its east jamb. There was also a west doorway, and in the western angles of the nave were vices entered from within the church, their blocked doorways being yet to be seen. The church was entirely faced with wrought stone, and had a battering plinth, the bays being marked off by projecting buttresses. In the west wall were probably three tall lancets, the outer jambs of the northern and southern of which still remain. The arrangement of the eastern part of the church as shown on the separate plate was deduced from excavations undertaken by the Rev. G. W. Minns, with the help of Mr. W. H. St. J. Hope. The chapter-house, which was separated from the north transept by the inner parlour, was vaulted in two bays, with a vestibule of two bays opening to the cloister by a central doorway with clustered Purbeck marble shafts, and flanked by double openings with marble shafts and sills, parts of which yet remain blocked up in the wall. The doorway to a passage east of the frater remains, with a little of the frater wall, but beyond this nothing is left to show the details of the monastic buildings, except the traces of a barrel vault which covered the outer parlour in the western range against the north wall of the church.

The abbey was granted at the suppression to Thomas Wriothesley, who converted the buildings into a house for himself, a good deal of which still remains. The process of conversion is illustrated by a very interesting series of letters among the State Papers, which have been printed by Mr. Hope in the *Archaeological Journal* for Dec. 1906. After several schemes of adaptation had been proposed and abandoned, the monastic frater became the hall, and the chapter-house the chapel; the cloister being treated as the courtyard of a four-square house. The south side of the church became the main front, and a large gateway with octagonal angle turrets was planted across the nave, while the central tower was taken down to the roof level and the south transept destroyed, for the sake of symmetry. The remaining parts of the church lost their vaults and were divided into two stories, the porter's lodge being on the ground floor to the west of the gateway, its door, window, and fireplace being still to be seen. The thirteenth-century windows were blocked up and square-headed mullioned windows cut through the wall, while large brick arched fireplaces were set in the west wall of the nave, the south wall near the crossing, the gatehouse walls, and elsewhere, some of the cut brick chimney shafts still remaining. Wriothesley's work, where not made of the old material reused, is of Caen stone, and of excellent workmanship, without a trace of Renaissance feeling. His kitchen occupied the site of the monastic kitchen, and parts of walls of his date stand here, with two windows on the west, and part of a lamp niche in the north-west angle of the cloister. Till the latter part of the eighteenth century the whole house stood with little alteration, but it was then dismantled, part of its materials going to Camp Hall near Fareham, and has since then gradually decayed under the influences of weather, ivy, and general neglect. A still inhabited cottage on the north, adjoining the north-west angle of the monastic dormer, is probably in part of

Wriothesley's time, and has a good four-centred stone fireplace in one of the ground-story rooms. A large walled garden incloses the church and monastic buildings, extending beyond them to east and west, and at some distance further to the west are the remains of a sixteenth-century building of Wriothesley's date, whose original use cannot be determined. On the north-west are the banks of large fish-ponds, and on them till lately stood a very large oak tree, now fallen. In a letter to Wriothesley reference is made to these ponds. The writer reports that he has viewed the fish-ponds, four of them being a mile in length—and that the bailiff will give Wriothesley 500 carp to stock them, so that in three or four years' time he may sell £20 or £30 worth of fish every year. (fn. 6) A general view by Grose of the buildings from the north-west, showing the north side of the frater and the west side of the dorter range, is preserved in Titchfield, and is here reproduced from a copy published in the *Hants Field Club Proceedings*, by permission of the Rev. G. W. Minns. A projecting chimney breast on the north of the frater is doubtless an addition of Wriothesley's time, and a rectangular block of masonry still existing on the south side of the frater seems to be the substructure of the bay window of the hall. A doorway with the arms of Southampton in the head, masking the western entrance to the inner parlour, may also have had a projecting window over it, lighting a stair which Wriothesley seems to have put here to lead to the first-floor rooms in the north transept and dorter range. The whole of Wriothesley's alterations were probably completed by 1542, in which year he received pardon for having fortified his manor house of Titchfield without licence, and in the same year, or a little earlier, Leland visited the house, and remarked on the fine conduit-house or fountain in the middle of the cloister, of which no trace now remains.



The Gateway, Place House, Titchfield

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North Aspect of Titchfield House

From a drawing by Grose, 1782, in the possession of J. R. Fielder, Esq.

Old place-names are:—Byttenfeld, (fn. 7) Newe Court, Parva Mirabyll, Warishassefield, (fn. 8) and Chilling. (fn. 9) The parish was inclosed in 1859. The subsoil is gravel and clay and the surface loam.

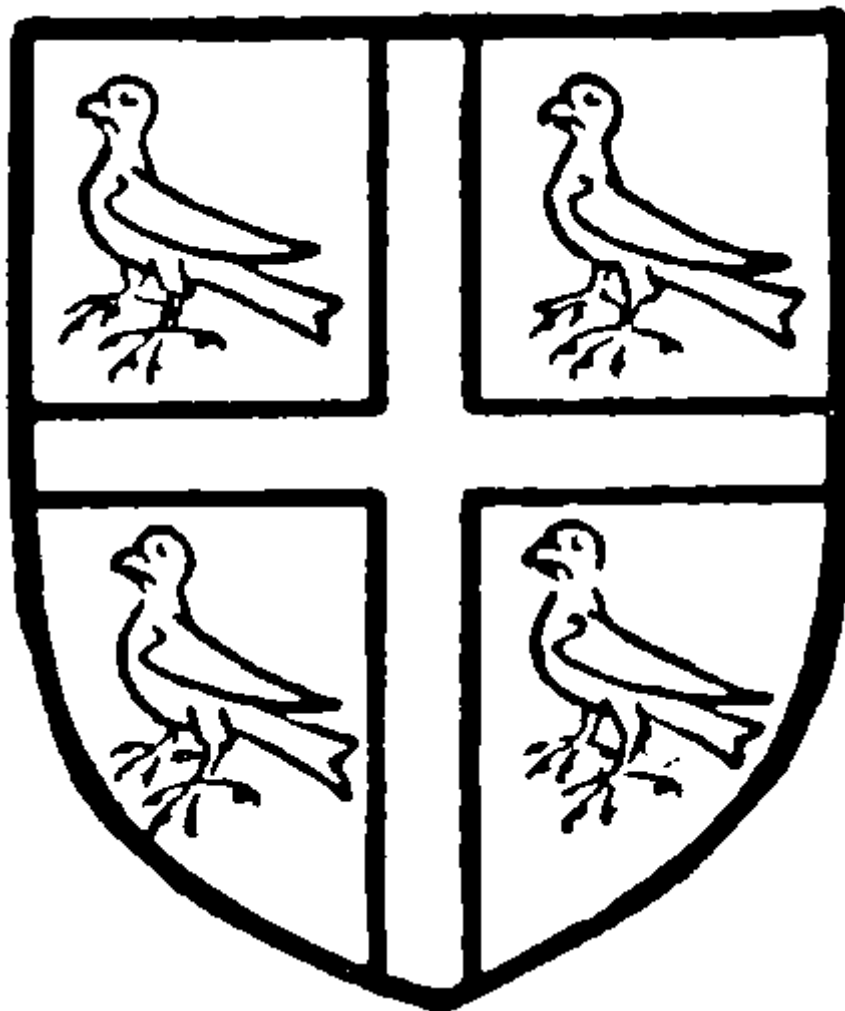
MANORS

In Domesday Book, *TITCHFIELD* is described as a berewick belonging to Meonstoke, and held by the king as it had been held by Edward the Confessor. (fn. 10) It is possible that part of the manor was in the hundred of Meonstoke and part in that of Titchfield, as it is certain that the hundred of Titchfield was in existence at the time of the Domesday Survey. (fn. 11) An account of the descent of the manor given by the abbot of Titchfield, in a dispute in the reign of Henry III, shows that William I held it by conquest, that it was given by his son William Rufus to Payn, ancestor of John de Gisors, (fn. 12) and that the latter forfeited it by his adherence to the king of France. (fn. 13) King John then granted from it £15 of rent to his supporter Robert de Vipont, and £5 worth to Oliver de Beauchamp, (fn. 14) but Robert died in 1227. Henry III in 1228 granted the manor to Hubert de Burgh, earl of Kent and justiciar, 'to hold as freely as John de Gisors held it until the king shall restore it to the heirs of John of his free will or by a peace.' (fn. 15) However, during the next year, Hubert de Burgh gave back Titchfield to Henry in exchange for the manors of Eylesham (Norfolk), and Westhall (Suffolk), (fn. 16) and the sheriff of Southampton was ordered to free the men holding in that part of Titchfield formerly granted to Hubert de Burgh, but now retained in the king's hands, from suit at shire and hundred courts. (fn. 17) In 1232 Henry granted the manor to Peter des Roches, bishop of Winchester, for the part endowment of the Premonstratensian abbey which he was about to found there, (fn. 18) and from this date until the Dissolution the manor remained with the abbot and convent of Titchfield. Free warren in their demesne lands of Titchfield was granted to the abbey by Edward I in 1294 (fn. 19) and afterwards confirmed by Henry VI, (fn. 20) who also granted many liberties and immunities to the abbey and convent in consideration of the many services rendered by them to himself and his queen on the occasion of their marriage in the abbey of St. Mary, Titchfield. One of the most important of these liberties was the right to hold an annual fair to last for five days. (fn. 21) John Sampson, bishop of Thetford, the last abbot of Titchfield, surrendered the possessions of the abbey to the king in 1537, (fn. 22) and in the same year the estates were granted to Thomas Wriothesley (fn. 23) (created earl of Southampton in 1547), for the services which he had rendered at the dissolution of the monasteries, subject to a pension of £20 to the late abbot. (fn. 24) Shortly afterwards he was knighted by the king, and on his death in 1550 he was succeeded by his son Henry, (fn. 25) who during his lifetime entertained both Edward VI and Elizabeth at Titchfield. Henry his son, third earl of Southampton, attainted in 1601 for his complicity in the plots of the earl of Essex, was condemned to imprisonment for life (fn. 26) and the confiscation of his estates; but on the accession of James I he was released, restored to his possessions and the earldom of Southampton. (fn. 27) He died abroad in 1624, and the property passed to his son Thomas, who, leaving no heirs male, was succeeded by his eldest daughter Elizabeth, who married Edward Noel, first earl of Gainsborough. (fn. 28) Their only son died without issue, and the Titchfield estate ultimately passed to their two granddaughters and co-heiresses Elizabeth, who married William Henry Bentinck first duke of Portland, and Rachel wife of the second duke of Beaufort. The third duke of Beaufort acquired both moieties of the property in 1711, (fn. 29) and the fifth duke sold the manor to Peter Delme in 1741. (fn. 30) On the failure of male heirs to the Delmé family in 1894 the estate passed to the descendants of two co-heiresses: Elizabeth wife of the Rev. C. Delmé Radcliffe, and Julia married to Captain James Arthur Murray, R.N., the present joint-owners being their respective sons, Colonel Emilius Charles Delmé Radcliffe, and George Delmé Murray. (fn. 31)

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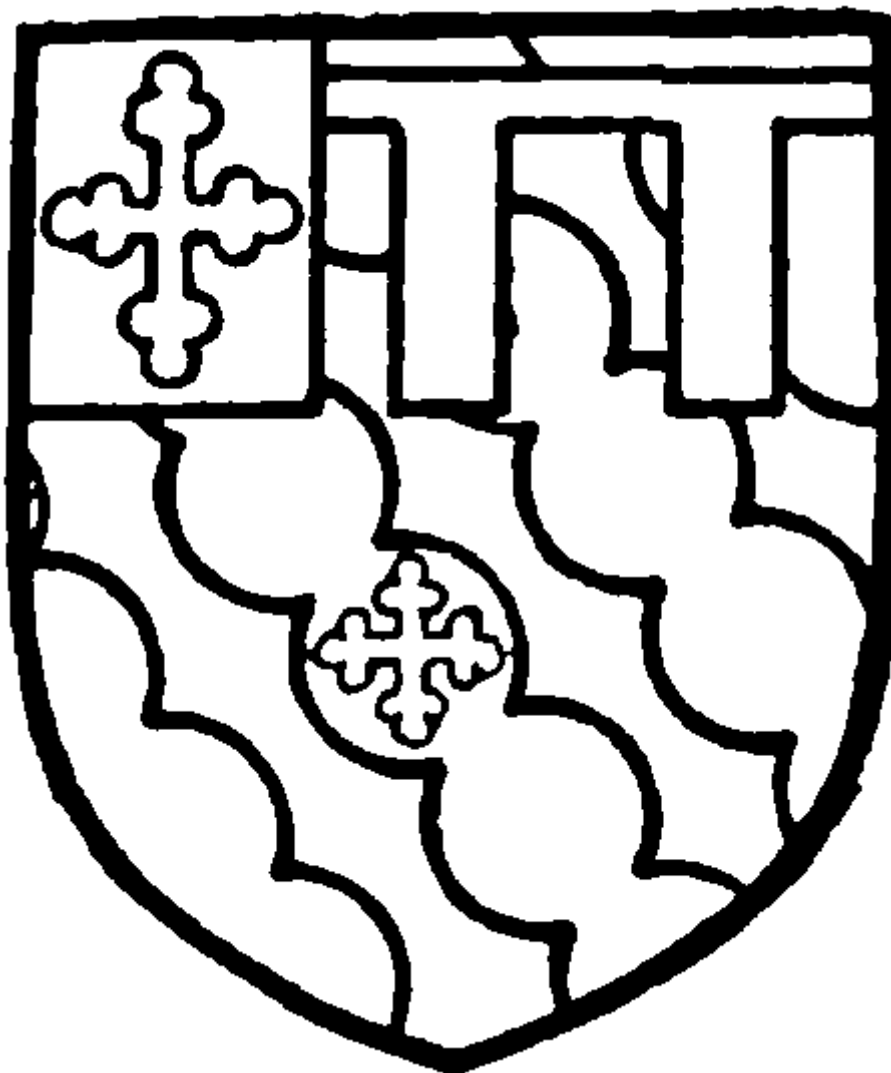
Wriothesley, Earl of Southampton. *Azure a cross or between four falcons close argent.*

Mention is made in Domesday of one mill in Titchfield worth 20s., (fn. 32) but it does not appear to have been included in the grant of Titchfield to the abbot, as in 1307 Simon and John Whorstede received licence to alienate in mortmain to the chapel of St. Elizabeth, Winchester, a rent of 20s. issuing out of the mill of Titchfield. (fn. 33) In 1272 two mills and certain lands in Titchfield were granted to Henry, abbot of Titchfield, by Philip de Molyns for a rent of 33s. 4d. (fn. 34) However, before 1330, John de Molyns released this rent, since his release was confirmed by letters patent in that year. (fn. 35)

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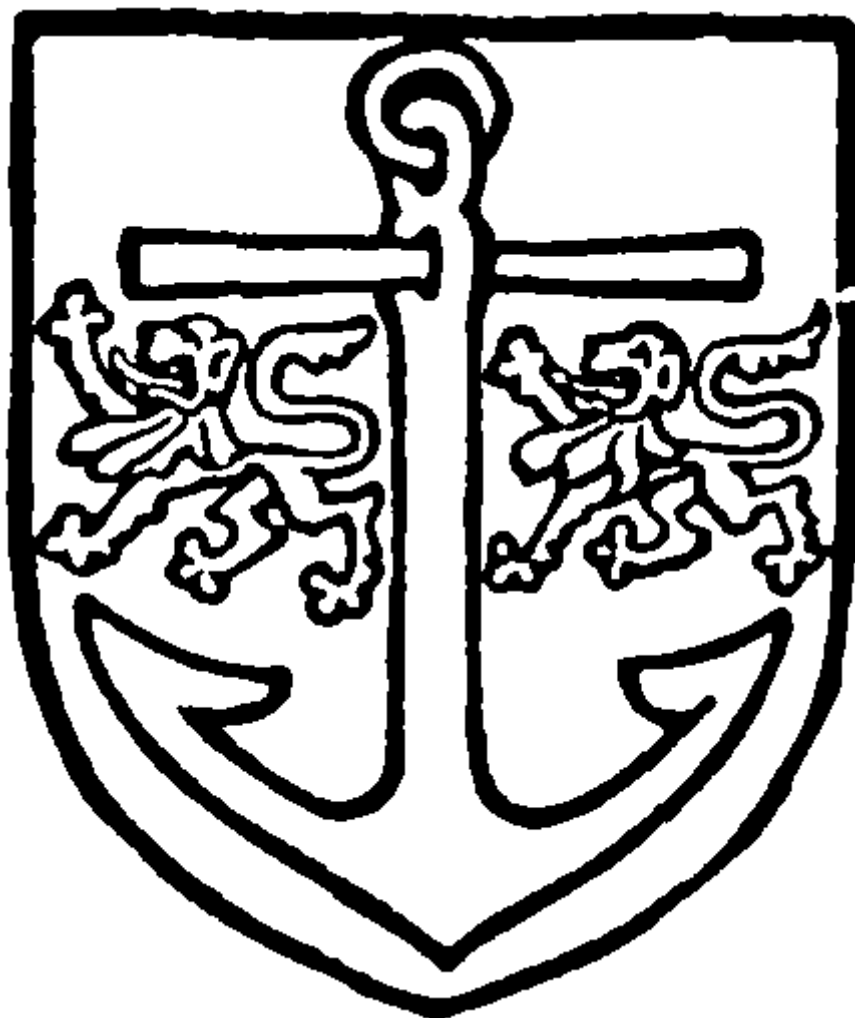


Radcliffe. Argent a crosslet gules between three bends engrailed sable a label and a quarter sable with a crosslet or in the quarter.

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Delme. Or an anchor sable between two lions passant gules.

There was a market at Titchfield in 1086, and though it was said to be injurious to a neighbouring market it was still existing in 1535, when Richard Towris reports to Lord Lisle that the clerk of the market was keeping his court at Titchfield and had commanded that no man should sell wheat above 8s. a quarter on pain of imprisonment and forfeiture. There is no record of its history after this date. (fn. 36) In 1424 the abbot received permission by charter to inclose and make a park of 60 acres of land, 10 acres of pasture, and 50 acres of wood in Titchfield. There is an interesting reference to this park in the State Papers for the year 1635, when notification was made to the Lords of the Admiralty that the officers of the Navy had contracted for timber from the wood of the earl of Southampton at the rate of 22s. the load, and that 'they had had assurance the whole kingdom could not better 1,000 trees agreed for there.' They also added that the ministers of the earl 'had acquainted them with the prejudice sustained by the Earl in having his timber so long restrained from sale, since ready money for the disengagement of his debts was the principle motive occasioning his felling thereof.' That the timber grown in this park was highly valued is shown by a letter of Capt. Anthony Deane to the Naval Commissioners in 1668, in which he writes: 'Mr. Eastwood gave you notice of the timber felled in Titchfield Park and bought by private men, and all the best trees docked for buckets, which would grieve anyone to behold such strange destruction to such rare goods and indeed jewels.' He adds that he had treated about 500 loads at 38s. the load. He knew of no timber like it except in the New Forest. (fn. 37)

Apart from the manor of Titchfield proper, there appears to have been an estate in Titchfield called the manor of Titchfield in the sixteenth century, probably owing its origin to the purchase by Thomas de Overton from John de Masseworth of 1 carucate and 6 acres of land in Chark and Titchfield in the fourteenth century. (fn. 38) The estate subsequently passed to his daughter Isabel and her husband Thomas le Warrener, (fn. 39) who held it until 1407. (fn. 40) From them it appears to have descended in a direct line through five generations to Joan Tawke, who married firstly Robert Ryman and secondly Edmund Bartlett, who both predeceased her. (fn. 41) She held the manor at her death in 1561, (fn. 42) when it passed to her son William Ryman for life with reversion to his brother Humphrey. The latter appears to have died during his brother's lifetime, (fn. 43) and from this date all assumed status of manor was lost, and the estate evidently merged in Titchfield proper.

At the time of the Domesday Survey *BROMWICH* (Burnewick xi cent.; Bromwych, Brunewych, xiv cent.; Bromwiche, xviii cent.) was held by Walkelin bishop of Winchester of the king, though not as a part of his bishopric. Angot held it under him, and it had been held by Eudo in the time of Edward the Confessor. (fn. 29) At what date it came into the possession of the Bromwich family

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does not appear, but in the fourteenth century it was held by Lucas Bromwich and John Bromwich successively. (fn. 45) By 1428 it had passed to the Uvedale family, John Uvedale, son of Sybil de Scures, having acquired the property probably by purchase from Thomas Bromwych. (fn. 46)

In 1434 it was granted or sublet to Reginald West, Lord De La Warr, who was probably connected with the Uvedale family, for in the time of Henry III a certain Thomas Uvedale married Margaret daughter of Roger De La Warr. (fn. 47) On the death of Lord De La Warr in 1451 the manor again reverted to the Uvedales, and was held for a time by William son of John Uvedale. (fn. 48) By a deed dated 1480–1 it was granted by Thomas son of William Uvedale to his father's brother Sir Thomas, to hold jointly with Agnes Paulet his wife, (fn. 49) and shortly afterwards it was leased to a certain John Estuy for twelve years at a rent of 16 marks and 2 pence. The lessor granted to the tenant annually one robe of the suit of a groom, and the latter was to pay the fifteenth to the king when payable and all the church dues. (fn. 50) Before his death, in 1513, Henry Uvedale settled the manor on his wife Mary, (fn. 51) but in 1530–1 the presumptive heirs to the manor all sold their interest in the reversion to Sir Henry Wyatt. (fn. 52) Mary Uvedale survived him, however, and his son, Sir Thomas Wyatt, sold the reversion in 1538 to Sir Thomas Wriothesley. (fn. 53) Two years previously Mary Uvedale had given up her life interest, (fn. 54) and later Sir Thomas Wyatt made a fresh conveyance in confirmation of the Wriothesley title. (fn. 55) The same year the manor was granted to Sir Thomas Wriothesley's sister Anne Knight and her husband for their lives and that of the survivor at a rent of 6d. a year, but it was regranted to the donor almost immediately 'in consideration of the many benefits received from him.' (fn. 56) Ten years later the manor was granted to Roger Polstin and his wife, servants of Thomas Wriothesley (now earl of Southampton), with the explanation that it was for services to be rendered as well as for those already received. They were to hold it for three lives at a rent of £10, but the grant did not include the right of fishing in the pond by the manor house. (fn. 57) Henry Wriothesley succeeded to his father's estates in 1550, and thence they passed to his son Henry, who in 1617 leased the 'messuage and farm called Bromwich Farm' to Philip Gifford at a rent of £10 16s.—the tenant was to make all payments and duties 'for the King's Majesty, the Church, the Parish and the poore of the same.' Also twice in every year he was to provide for the officers of the earl when they came to hold courts there 'sufficient meat and drink and other provision befitting their officers and servants, and sufficient room hay litter and provender for their beasts.' (fn. 58) On the expiration of this lease another for twenty-one years at a rent of £10 16s. was granted to Sir Henry Wallop, (fn. 59) who had married the sister of the third earl of Southampton. Bromwich followed the descent of Titchfield until 1734, when on the sale shortly afterwards of a considerable part of the Titchfield property to the duke of Beaufort it was retained by the duke of Portland, in whose possession it was in 1762. From him it was purchased by Mr. William Hornby, governor of Bombay at the end of the eighteenth century, in whose family the property remained until the death of Mrs. Hood, the last survivor of the family, whose husband, the Hon. Albert Hood, is the present owner. (fn. 60)

There is no mention of the manor of *CHARK* in the Domesday Survey, but it is probable that it was included at this date in that part of Titchfield which was held by the king. Some time in the twelfth century the overlordship was granted to John de Gisors, who was certainly holding lands in Hampshire as early as 1161. (fn. 61) He never held Chark, however, in demesne, but received a rent of 50s. from the sub-tenants, 40s. of which he granted in alms to the priory of Hamble. On the forfeiture of the estates of de Gisors the remaining 10s. rent escheated to the crown, and King John granted it to Oliver de Beauchamp as part of 100s. of land and rent which he had licence to acquire in Chark and Titchfield in exchange for the manor of Melbourne in Derbyshire (fn. 62)

The rent was still paid to the De Beauchamp family in 1302, but eight years later Richard de Beauchamp granted it, together with a messuage and a carucate of land in Titchfield and Chark, to William son of John de Masseworth. (fn. 63) From John de Masseworth (son of John) it passed in 1356 to Thomas de Overton, (fn. 64) who died in 1361, and two years later it was conveyed to his niece Isabel and her husband, Thomas de Warrener. (fn. 65)

The under-tenants of this manor in the twelfth century were members of the family of Bruton—probably the Hamo Brito and Gilbertus le Bret who alienated lands in Chark to Quarr Abbey. (fn. 66) In 1292 William Bruton died seised of nine virgates of land in Chark held in socage paying 10s. rent to Richard de Beauchamp. (fn. 67) About the middle of the thirteenth century Richard Bruton was holding a moiety of Chark, while in 1316 William Bruton was returned as holding the vill of Chark, (fn. 68) which, however, from this date disappears from the assessments of the Feudal Aids. It was probably included in the one-third of a knight's fee in Warde held by him in 1346, (fn. 69) and mentioned below in the descent of Lee Bruton, and it may be suggested, therefore, that it passed at some time before the year 1428 to Thomas Wayte. (fn. 70) It was certainly settled on John Wayte and his heirs in 1453. (fn. 71) The subsequent history of the manor is the same as that of Lee (q.v.).

At the time of the Dissolution the abbey of Quarr held a farm in Chark valued at £12 2s. 6d., (fn. 72) which was probably part of the grant made to the abbey by the Bruton family about the thirteenth century, when the monks received permission to have their boat free of toll along the seaboard of Chark or Lee, and to send their men to grind their corn at Chark. (fn. 73)

At the time of the Domesday Survey *CROFTON* was held by Count Alan of Brittany as it had been by Ulward, 'who could betake himself where he would with this land.' (fn. 74) It is probable that Crofton formed part of the possessions of Edwin earl of Mercia, the whole of which were granted to Alan of Brittany for his services at the Conquest, and afterwards formed the honor of Richmond, of which Crofton was held certainly as late as 1355. (fn. 75) Some time during the twelfth century the manor seems to have been granted to the Furneaux family, with whom it remained until 1331, (fn. 76) but shortly after that date it apparently passed, probably through some family connexion, to Maurice le Brupe, who died seised of the manor then termed 'a liberty called Crofton,' belonging to the manor of Rowner, in 1355–6, leaving a son and heir William, who was holding the same in 1358–9. (fn. 77)

Of the subtenants of the Furneaux Geoffrey Talbot was seised of the manor in the reign of John, (fn. 78) and was succeeded by his son Lawrence, (fn. 79) who married a certain Benedicta, and their daughter Alice became the wife of Henry of Glastonbury, who was in possession of the property in 1316. (fn. 80) After the death of Henry the manor was settled on Alice with reversion to her son Henry, on whose death without heirs it passed to John son of John le Venour, as son and heir of Eva sister of Geoffrey Talbot. He released his right to Benedicta widow of Lawrence and Elias de Cherleton, her second husband. (fn. 81) In May, 1331, licence was granted to Elias and Benedicta to alienate the manor in mortmain to the abbot and convent of Titchfield on condition that they should find a chaplain to celebrate divine service daily in the chapel of St. Edmund, Crofton, for the soul of Edward II and for the souls of Elias and Benedicta after their deaths; the abbot undertook to regrant the manor to the grantors for life. (fn. 82) By a charter given four years later the abbot received a grant of free warren in his demesne lands in Crofton. (fn. 83) In 1537 the last abbot of Titchfield surrendered the manor with his other possessions to the king, and it was granted the same year to Thomas Wriothesley. (fn. 84) From this date Crofton follows the descent of the manor of Titchfield (q.v.).

Mention is made in Domesday of a mill at Crofton worth 12s. 6d., but there is no further trace of its history.

There were two manors in *FUNTLEY* (Funtelei, xi cent.; Funceley, xiii cent.; Funtelegh, xiv cent.) at the time of the Domesday Survey. Of these, one (fn. 85) held before the Conquest by Ulward under Earl Godwin had passed in 1086 into the hands of Count Alan of Brittany, (fn. 86) whose descendants, except for one short period, held the overlordship until 1279, when the honor of Richmond was in the hands of Peter of Savoy. (fn. 87) The history of the overlordship for the next two centuries is obscure, but in 1305 a dispute arose between the king and Henry of Glastonbury as to the custody of the heir. (fn. 88) The matter was settled in favour of the king, who granted the lordship to his daughter Mary, nun of Ambresbury. (fn. 89) On her death the overlordship was possibly granted or restored to Henry of Glastonbury, and given by him with the manor of Crofton to the abbot and convent of Titchfield, as in 1338 the manor of Funtley was granted to the latter to be held as of their manor of Crofton. (fn. 90)

The first undertenant of the manor of Funtley Parva of whom there is record was Nicholas Fostebire, who held one messuage and half a hide of land there (fn. 91) in 1269–70. The manor appears to have been granted to the family of St. Martin later in the century, as in 1303–4 William de Pageham was holding it by gift of his father-in-law, Hugh de St. Martin. (fn. 92) It then consisted 'of a hall built with tiles, a grange and ox-house built with straw ... 90 acres of arable land ... 20 acres of pasture worth an acre per annum 2d., 4 acres of meadow worth an acre per annum 2s., one water mill worth per annum 10s., 3 acres of large wood and 3 acres of underwood worth an acre per annum 6d., and eight customary tenants who paid rent per annum 21s. 9d.' (fn. 93) From William it passed to his son John, whose daughter Mary granted it in 1338 to the abbot and convent of Titchfield, (fn. 94) in whose possession it remained until the Dissolution, when it passed with the other Titchfield property to Thomas Wriothesley, earl of Southampton, and followed the descent of Titchfield (q.v.).

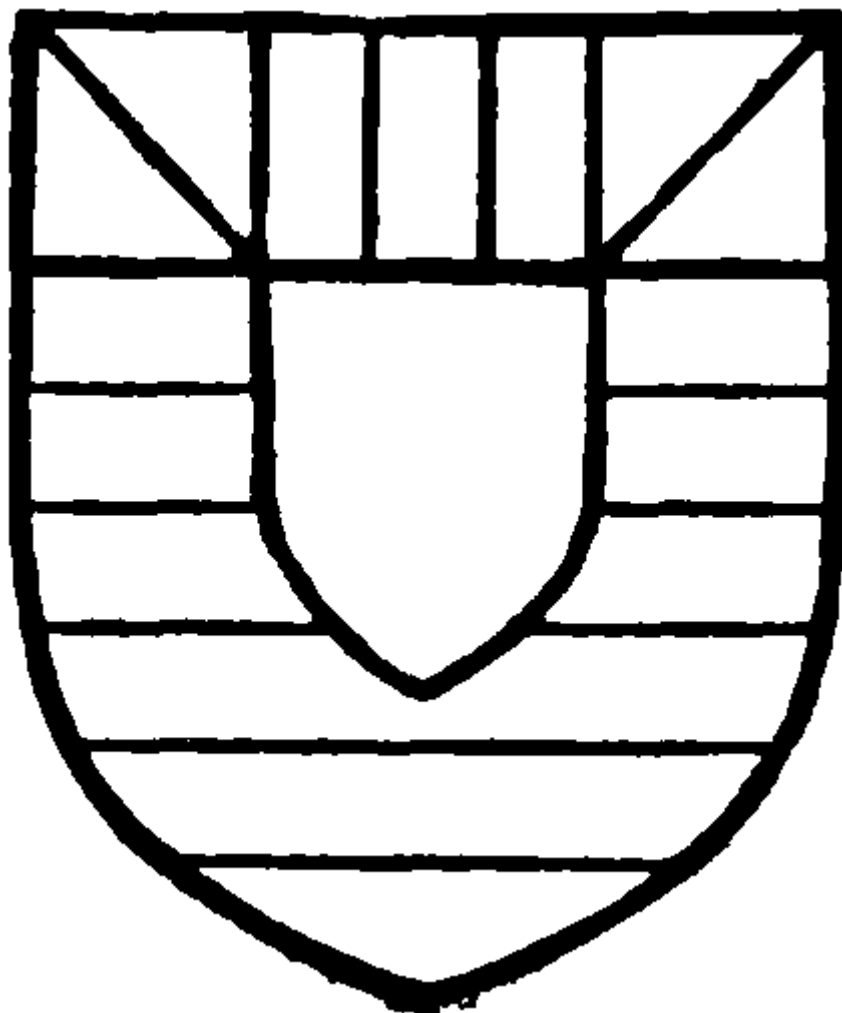
The second manor in Funtley was held at the time of Edward the Confessor by a certain Turi under Earl Godwin. In 1086 it was in the possession of Ranulf Flamme, (fn. 95) and being confiscated with the rest of his estates in 1100, passed into the king's hands, (fn. 96) and was granted some time prior to the year 1241 to the Arundel family, (fn. 97) in whose possession it remained until 1615, (fn. 98) after which the rights of overlordship probably lapsed.

Of the subtenants Hugh de Hoyvill was holding one-fourth of a fee in Funtley in 1241, which he had inherited from Richard de Hoyvill his father, which passed to Philip de Hoyvill, probably his son, who in 1294 was granted free warren in his demesne lands there. (fn. 99) Seventy years later William de Hoyvill, probably a grandson, was assessed in the Feudal Aids as part owner of the vill. (fn. 100) In 1346 it was held by William de Hoyvill, (fn. 101) probably son of the former one, but before 1428 it had passed to the Uvedale family, John Uvedale being then in possession. (fn. 102) It then followed the descent of Wickham until 1721, when it was held by Sir Richard Corbett, from whom it was purchased by Jonathan Rashleigh, M.P. for Fowey, Cornwall, in 1724. (fn. 103) It apparently passed out of the hands of the Rashleigh family at the end of the eighteenth century, and since then the property appears to have been broken up. (fn. 104)

At the time of the Domesday Survey *HOOK* (Houch, xi cent.; Hoke, xiii cent.; Houke, xiv cent.; Hooke, xv cent. onwards) was held by Hugh de Port, (fn. 105) and the overlordship probably followed the descent of the St. John barony (see Wickham), though it is difficult to be certain of this after the fourteenth century. (fn. 106) In 1086 one German was holding Hook of Hugh de Port, but for the next two centuries its history is unknown. At the beginning of the fourteenth century the vill of Hook was held jointly by Aymer de Valence, Roger Mortimer, John Pageham, and Richard of Winchester, (fn. 107) but of these holdings the two former only appear to have had any manorial history. On the death of Aymer de Valence without issue in 1324, (fn. 108) his property in Hook, afterwards known as Hook Valence, probably passed to John de Hastings, one of his heirs, and through him in a direct line to John earl of Pembroke, whose widow Philippa, daughter of Edward Mortimer, was holding it in 1389. (fn. 109) She married as her third husband, between 1393 and 1400, Thomas Poynings lord St. John of Basing (fn. 110) —a connexion which, assuming that the St. Johns were still the overlords of Hook, might explain the possession of Hook by the Wests, also connexions of the Mortimers in the sixteenth century. In 1488 Elizabeth Uvedale was holding 16 messuages and 132 acres of land in Hook of Thomas West, Lord De La Warr, (fn. 111) and this property was held until his death in 1501 by her son Robert. (fn. 112) Sixty years later Thomas West sold the manor of Hook Valence to Sir Richard Lyster, son-in-law of Thomas Wriothesley, (fn. 113) and as the latter died possessed of the manor in 1550, (fn. 114) it probably passed to him by some family settlement. From this date until 1762 it follows the descent of Swanwick (q.v.).

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The manor of *HOOK MORTIMER* held by Robert Mortimer in 1316 probably escheated to the king on his attainder in 1330, but apparently was restored with the earldom to Roger his grandson in 1355, as Roger's son Edmund was holding rents in Hook Mortimer in 1381, 'from divers tenants there who hold according to the custom of the manor, as of the ancient demesne of the crown.' (fn. 115) Edmund Mortimer died without issue in 1425, and the Mortimer estates went to his nephew Richard duke of York, (fn. 116) whose eldest son Edward afterwards became Edward IV, and in this way the estate again came into the king's hands. In 1540 Henry VIII granted Hook Mortimer to Anne of Cleves, (fn. 117) and in the following year to Queen Catherine as her jointure; (fn. 118) in 1543 it was leased for thirty years to Edmund Clerke, (fn. 119) and if, as seems probable, (fn. 120) the manor of East Hook can be identified with Hook Mortimer, it passed before 1550 to Thomas Wriothesley earl of Southampton, who also possessed the manor of Hook Valence. (fn. 121) From this date the descent of both is identical with that of Titchfield until 1734, after which it is the same as that of Bromwich (q.v.). (fn. 122)



Mortimer. *Barry azure and or a chief or with two pales azure between two gyrons azure therein and a scutcheon argent over all.*

A chapel appears to have been opened in Hook in the fourteenth century, without the authority of the bishop, and the archdeacon was therefore sent to admonish those responsible. As, however, services continued to be held, the offenders were summoned to appear before the bishop in Winchester Cathedral. They did not appear, and sentence of excommunication was passed upon them in 1379. (fn. 123) In what way the dispute was finally settled does not appear, but the chapel was still existing at West Hook in 1570–1. (fn. 124)

LEE-ON-THE-SOLENT

LEE-ON-THE-SOLENT (Ly, La Lige, xiii cent.; Lye xv cent.) is not mentioned by name in the Domesday Survey, but was probably included at that date in the fee held by Count Alan of Brittany in Funtley and Crofton, which subsequently became part of the honour of Richmond. (fn. 125) In 1302 Richard Bruton died seised of land in Lee held of Isolda le Brun as of the honour of Richmond 'in manu ipsius Isolde existent ibidem.' (fn. 126) The overlordship had probably passed to her husband William with the liberty of Crofton, 'by commission' of John of Brittany. (fn. 127) There seems to be no further documentary evidence as to the descent of the overlordship, but it was probably for some time at least included in Crofton liberty.

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Of the subtenants Roger Markes seems to have held one carucate of land, subsequently known as the manor of *LEE MARKES*, about the middle of the thirteenth century, (fn. 128) and in 1327 Edmund Markes, probably son of Roger, paid 2s. subsidy, presumably assessed on the same estate. (fn. 129) Thirty years later William Markes was holding land in Lee of Thomas Warrener, which was to pass to the abbot and convent of Titchfield on the death of William, and in this way it came into the hands of Thomas Wriothesley at the Dissolution.

In 1236 Gilbert de Bret (*alias* Brut) died seised of the manor of 'Ly' (which subsequently became known as Lee Britten or Bruton), being 1 carucate, by the service of a third of a knight's fee of the honour of Richmond, and some years later this was held by the guardian of the heir of John le Bret from Peter of Savoy as of the honour of Richmond. (fn. 130) The manor seems to have passed from John to Richard Bruton, who held a moiety of Lee and Chark as one-third of a knight's fee by the serjeanty of crossing the sea with the king, and who was succeeded by his son Richard. The latter died in 1302, leaving a son William, a minor, who was holding in 1327 and probably in 1346 if, as seems likely, Warde was a local name for the Bruton estates in Lee and Chark. (fn. 131) From William the manor passed to his son John, and from Alice daughter of John to her son Thomas, who died without heirs at the end of the fourteenth century. He appears to have alienated it to Thomas Wayte, as in 1310 the latter was sued by John Wallop, who claimed the manor as descendant of Alice sister of William Bruton. John's claim was allowed, (fn. 132) but the reversion was apparently granted to Thomas Wayte, as in 1428 he was holding one-third of a knight's fee in Warde jointly with the abbot of Titchfield. (fn. 133) The history of the manor for the next hundred years is obscure, but in 1528 John Wayte, a descendant of Thomas, leased the manor of Lee to Arthur Plantagenet. (fn. 134) In 1530 John Wayte conveyed the manor to Sir Richard Lyster, from whom it probably passed to his father-in-law, Sir Thomas Wriothesley, some time within the next ten years, for in 1540 a dispute was tried before the Privy Council between Wriothesley and one Walter Chandler, Walter having complained that Sir Thomas had withheld the manor of Lee from him without paying for it. The council, however, decided that the charge was wholly unfounded, and Chandler was ordered to make apology and restitution. (fn. 135) From this date the descent of both manors is the same as that of Titchfield (q.v.).

At the time of Domesday *MEON* belonged to the bishop of Winchester, having been held previously by a certain Toui who rented one-half of the king and held the other by grant from the earl of Hereford, (fn. 136) on whose death the whole appears to have been granted by the king to the bishop. No further mention of Meon is found until 1510, when Thomas Uvedale granted to Henry Uvedale his heir lands and rent in Meon. (fn. 137) The property then follows the history of Bromwich (q.v.) until 1550, when Thomas Wriothesley earl of Southampton died seised of the same, then for the first time called the manor of Meon. (fn. 138) After this date there is no further reference to the so-called manor, which probably became merged in that of Bromwich.

POSBROOK

POSBROOK (Passebroc or Postbrook xiii cent.) is not mentioned in Domesday Book, and very little is known of its early history. It appears to have been held by members of the Passebroc family in the early part of the thirteenth century, (fn. 139) and in 1243–4 it was acquired either by purchase or grant from a certain William de Setteville by Isaac abbot of Titchfield. (fn. 140) A grant of free warren in Posbrook was made to the abbey in the reign of Edward I, (fn. 141) and the manor remained in the possession of the monastery until the Dissolution in 1538, (fn. 142) when it was granted to Thomas Wriothesley as part of the abbey estates, and from this date the descent of the manor is the same as that of Titchfield (q.v.).

Though the name of *QUOB* (Quabbe, xiii–xvii cents.) now survives only in Quob Farm and Copse, there were formerly two separate estates of that name, one of which belonged to the lords of the manor of North Fareham in the thirteenth century, and of which the following mention is made. In the reign of Edward I Emma de Roches granted her son Hugh 'the land of Quabbe in the parish of Titchfield.' (fn. 143) In 1571 Sir Richard Pexall, descendant of Hugh, died seised of land and tenements in 'Quabbe' (fn. 144) and his grandson Sir Pexall Brocas was holding the same in 1610. (fn. 145) In 1635 the property, then called for the first time a manor, was in the possession of Thomas Brocas, (fn. 146) and certainly as late as 1762 the lords of North Fareham received £1 yearly as lords' rent from 'Quabbe' Farm, (fn. 147) which had evidently become merged in the manor of North Fareham.

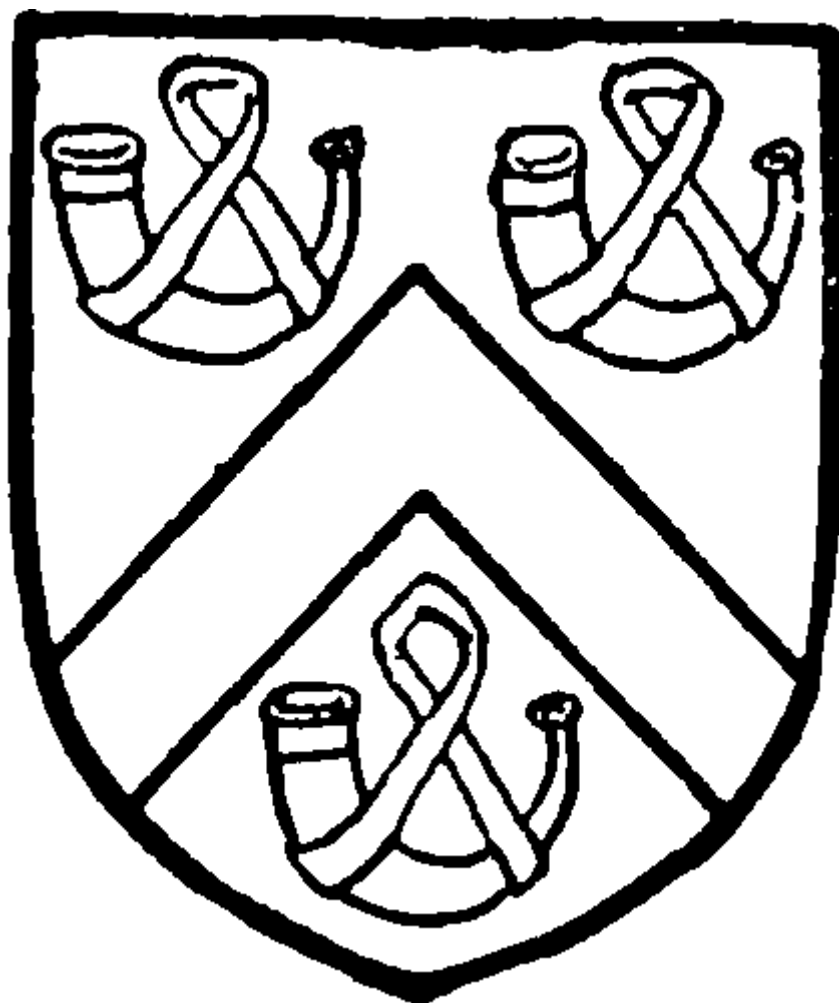
The second holding that bore the name was first mentioned in 1311, when Richard de Beauchamp held one tenement called 'La Quabbe' with two gardens, 6 acres of arable land, 5 acres of meadow, 3 acres of wood, 20 acres of pasture, and an assize rent of 39s. 2d.—property which Oliver de Beauchamp his ancestor had licence to acquire in Titchfield in exchange for the manor of Melbourne in Derby, granted to King John. It was held by the service of doing suit at the court of the king at Titchfield and by a rent of 16d. yearly. Richard apparently held it only for the life of William de Masseworth, but his co-heiresses put in a claim for the property, which was disallowed, and the escheator was ordered to deliver up the land to William, (fn. 148) and on his death, in 1335, the estate passed to his brother Walter, who held it by the service of doing guard at Portchester for 30 days. (fn. 149) In 1361 Thomas de Overton died seised of the manor of 'Quabbe,' (fn. 150) which had probably (like the second Titchfield manor) been included in the carucate of land, 6 acres of meadow, 12 acres of wood and rent in Titchfield and Chark acquired by him in 1356 by purchase from John de Masseworth. (fn. 151) William, brother and heir of Thomas, appears to have died shortly after his brother, and the estate passed in 1363 to his daughter Isabel and her husband Thomas le Warrener, (fn. 152) who three years later acquired the onethird part of the manor which Agnes, widow of William, was holding in dower. (fn. 153) During the next seventy years the estate appears to have been broken up, since there is no further mention of the manor as such, while in 1426

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Thomas Warrener was possessed of only one toft and 2 virgates of land called Quabland in the vill of Titchfield—'which he held jointly with Isabel Overton, formerly his wife.' (fn. 154) It is probable that this property as well as the rest of the Overton estate gradually became merged in Titchfield proper.

SEGENWORTH

SEGENWORTH (Sugion, xi cent.; Suggenwerch, xiii cent.; Sokyngworth, xiv cent.; Sechingworth, Siginworth, xvi cent.) was one of the lordships granted to Hugh de Port by William I, and at the time of Domesday Herebald held it from him as Ulric had held it under King Edward. (fn. 155) At the end of the thirteenth century William de Stratton was holding one knight's fee of Robert de St. John, (fn. 156) descendant of the De Ports; but by the middle of the fourteenth century it had passed to the family of Wayte, and was then in the hands of William Wayte. (fn. 157) In the fifteenth century it was held by Margaret Wayte, wife of another William Wayte, (fn. 158) and through her it descended to John Wayte, probably a grandson, who leased the manor in 1528–9 to Arthur Plantagenet Viscount Lisle, his kinsman. (fn. 159) From this date the descent of the manor is the same as that of Lee Britten (q.v.).



Wayte. Argent a cheveron gules between three hunting horns sable.

At the time of Domesday *STUBBINGTON* (Stulbinton, Stubynton, Stobington, xiii cent.), which under King Edward formed part of the possessions of Earl Godwin, was held by the De Port family, (fn. 160) from whom it passed to the St. Johns, descendants of the De Ports, early in the thirteenth century, and in whose possession the overlordship remained until 1309, when it was granted by John de St. John, lord of Basing, to the abbot and convent of Titchfield. (fn. 161)

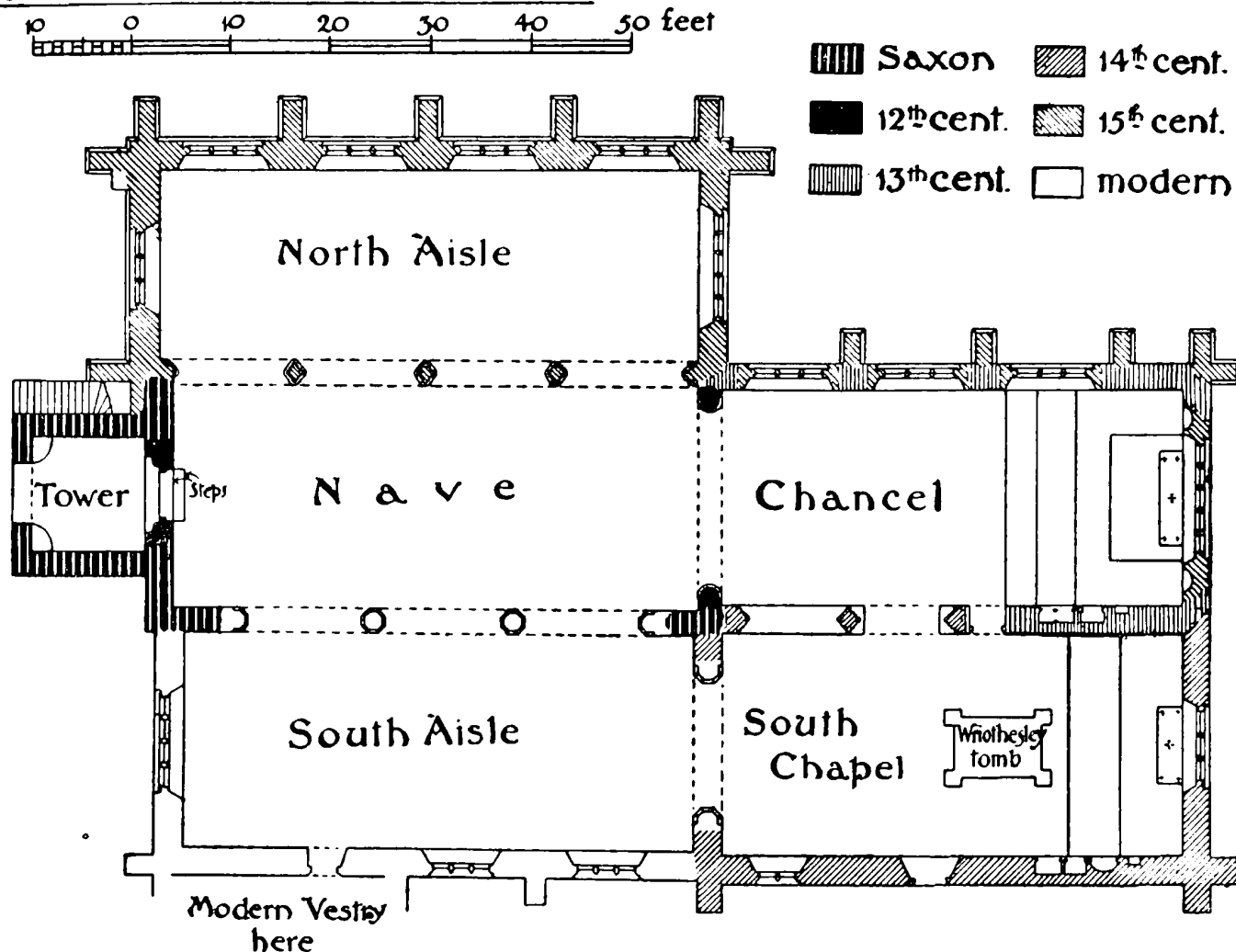
From an early date Stubbington was held under the St. Johns by Reginald de Mohun and his successors, who before the end of the thirteenth century had granted it to John de Rayny, (fn. 162) whose grandson, William de Rayny, about 1293 granted all his lands in Stubbington to the abbey of Titchfield, (fn. 163) which, during the following century, acquired other lands in Stubbington by various grants. (fn. 164) This grant was confirmed by royal charter in 1320, and mention is made in the same deed that the abbot was freed from all suits and services due to him from such land. (fn. 165) A grant of free warren was made to the abbot in 1293. (fn. 166) It continued to be noted separately among the possessions of the abbey until 1428, (fn. 167) from which date it disappears from the Titchfield records, and was probably included in Titchfield itself.

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There is no mention of *SWANWICK* (Swanewik, xv cent.) in Domesday Book, and the first record relating to it is in 1231, when Henry III confirmed to Peter des Roches, bishop of Winchester, the gift made to him by Humphrey de Millers of all the land and rent in Swanwick, which Humphrey had acquired by grant of William, bishop of Avranches. (fn. 168) This land became part of the possessions of the newly founded abbey of Titchfield, and was held of the bishop of Avranches. (fn. 169) A grant of free warren was made to the abbot by Edward I in 1294. (fn. 170) Swanwick was held by the abbey (fn. 171) until surrendered to the king with the other possessions of Titchfield Abbey in 1537, and in the same year it was granted to Thomas Wriothesley, (fn. 172) and from this date follows the descent of Titchfield until the first half of the eighteenth century, when it was retained by the duke of Portland on the sale of a considerable part of the Titchfield estate to the duke of Beaufort between 1734 and 1741. (fn. 173) Its descent is then the same as that of Bromwich (q.v.).

TITCHFIELD CHURCH



Titchfield Church

CHURCHES

The church of *ST. PETER, TITCHFIELD*, has a chancel with south chapel, nave with aisles and south-west vestry, and west tower, and is a fine and interesting building, with a long architectural history, the lower part of its tower and the west end of the nave being probably the oldest piece of ecclesiastical architecture now standing in Hampshire. The church to which they belonged had an aisleless nave probably of the same dimensions as the present, a chancel and a western porch, the latter probably of two stories. The feature is an early one, and as there are none of the characteristics of the latest style of pre-Conquest architecture to be seen, it is possible that this building may have its origin in the ninth century, or even earlier. Its subsequent history was that a south aisle was added to the nave in the twelfth century, a new west doorway made, and probably towards the end of the century a new chancel arch. The tower seems to have been raised to its present height about the same time, and about 1220 the chancel was rebuilt round the older one, becoming of the full width of the nave, and the chancel arch was now, or perhaps later, widened, the old responds being reused. About 1320 the south chapel was built, and in the fifteenth century the present north aisle of the nave was built, probably superseding an older one, of which nothing remains, the south and

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east walls of the chancel being remodelled to harmonize with the new work. In 1867 the twelfth-century south arcade of the nave gave place to a modern one, the whole of the south aisle being rebuilt, and a few years since a vestry was added at its south-west angle.

The chancel has a fifteenth-century east window of five lights, and three three-light windows of the same date on the north. On either side of the east window are two tall canopied niches for images of the patron and other saints, one over the other, also of the fifteenth century. At the south-east are three thirteenth-century sedilia under moulded arches, the eastern seat being higher than the other two; to the east is a trefoiled piscina with a modern projecting bowl, and at the west a thirteenth-century priest's door. The rest of the south wall is taken up by an arcade of two bays, c. 1320, with clustered shafts and foliate capitals, that of the central shaft having four winged beasts among the foliage. The arches are of two orders with wave-moulds, and the bases rest on a dwarf wall, not coming down to the floor level.

The chancel arch is pointed, of one order with chamfered angles, springing from half-round responds, the southern capital having plain foliage, while that on the north has been mutilated and repaired without ornament. The chancel has a fifteenth-century roof with arched principals and trussed rafters, its other woodwork being entirely modern.

The south chapel, which is of the same length as the chancel, and slightly wider, has an original east window of three trefoiled ogee lights, and three twolight south windows of a similar type, a later fourcentred doorway having been inserted under the second window from the east. At the south-east are three trefoiled sedilia, also original, the eastern of which is higher than the rest, and has a rounded back, and to the east is a trefoiled piscina of the same date. At a little distance from the east wall are large corbels in the north and south wall, 7 ft. from the floor, to carry a beam at the back of the altar; a moulded string over the piscina stops at this line, and this space at the east was evidently screened off to serve as a vestry. The centre of the chapel is occupied by the splendid Wriothesley monument described below.

The south arcade of the nave, of three bays, and the south aisle, are modern, in fourteenth-century style; but the north arcade, of four bays, with tall and slender clustered piers, moulded arches, and octagonal moulded capitals and bases, is a pretty piece of fifteenth-century detail. The east window of the north aisle, of five lights under a segmental head, is flanked by elaborate contemporary canopied niches, and there is a third niche set against the north face of the east respond of the arcade. There are in this aisle four three-light windows on the north and one on the west, all contemporary with the arcade, and the roof is probably plain work of the same date. The nave roof is old, with trussed rafters, but the tie-beams are modern, and at the east end is a rood beam set up in 1889 with a wall painting of the Crucifixion over it. On the west wall of the nave is a large wall painting of the miraculous draught of fishes, and above it, high in the wall, a blocked roundheaded window, now opening to the top stage of the tower, but, before its building, to the open air, above the roof of the early porch.

The west doorway is a fine specimen of the latter part of the twelfth century, of three ornamented orders with nook shafts. It opens to the west porch or ground story of the tower, whose walls are only 2 ft. 3 in. thick. The western arch of the tower is plain and roundheaded, in large blocks of Binstead and iron stone, like those used in the Roman east gate of Portchester Castle. The angle quoins are of the same character, the walls being of rubble, and above the arch a bonding course of Roman bricks, three deep, runs round the tower, and is continued across the west end of the nave. At a late repair it was found to go right through the wall. The belfry stage of the tower has single lights, probably c. 1200, and the tower is finished with a rather heavy wooden spire. Its upper stages are reached by an external stair on the north, leading to a doorway in its north-east angle.

The font at the north-west of the nave is modern, and the only monument of much interest, except that of the Wriothesleys, is a small tablet on the north wall of the chancel to William Chamberlaine of Beaulieu, 1608, showing a man and his wife kneeling under a cornice with heraldry, and two sons and two daughters below.

The Wriothesley monument, commemorating the first earl and countess of Southampton, and their son the second earl, was set up in accordance with the will of the latter, proved 7 February, 1582, by which the enormous sum of £1,000 was left for the making of 'two faire monuments' in the 'chapel of the parish church of Tichell, co. Southampton.' The directions for two monuments were however ignored, and one only was made, on which the three alabaster effigies rest. It is a raised rectangular tomb, with projecting pilasters at the angles, which carry tall obelisks; the central part of the tomb is raised some feet above the rest, and on it lies the effigy of Jane countess of Southampton, 1574, that of her husband the first earl, 1551, lying at a lower level on the north, and that of her son the second earl, 1582, in like manner on the south. The whole is of alabaster and marble most elaborately and beautifully worked, carved, and panelled, the inscriptions being on black marble panels at the feet of the three effigies. In the vault beneath are also buried Henry third earl of Southampton and his son James Wriothesley, 1624, and the fourth and last earl, Thomas, 1667.

In the north-east angle of the south aisle is an inlaid wood panel with the Wriothesley arms, with a pediment supported by caryatides, and below it the motto VNG PARTOUT. It was formerly in the Bugle Inn.

There are six bells, the first two of which were added and the rest recast in 1866. The fifth was a Salisbury bell, c. 1400, inscribed AVE MARIA PLENA; the fourth of 1628, inscribed IN GOD IS MY HOPE I. I.; the third by Francis Foster of Salisbury, 1675, and the tenor by Wells of Aldbourne, 1769. There is also a small bell uninscribed of some antiquity

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The plate is a very fine silver-gilt set, consisting of two cups with cover patens, inscribed THE GIFT OF THO CORDEROY GENT AHO DOI 1673, with the arms of Corderoy—a cheveron between two molets and in base a lion, all with a border—the crest being a crowned heart (*cœur de roi*); in spite of the inscription, the date letter on the cups is that of 1675; two flagons of the same date and gift; two alms dishes of 1670 of the same gift; and a standing salver of 1679, given by William Orton.

The first book of the registers contains entries from 1589 to 1634, and is of paper; the second covers the years 1634–78, and the third 1678–1762. The fourth, fifth, seventh, and eighth books contain the marriages from 1754 to 1812, and the sixth the baptisms and burials, 1762–1812. In these registers there are twelve entries of burials of soldiers between 27 November and 16 December, 1627, probably men wounded in the disastrous expedition to La Rochelle. In August, 1628, the duke of Buckingham's murder is very fully chronicled: 'The Lorde Duke of Buckinghame was slayne at Portesmouth the 23 day of August being Satterday, Generall of all ye fletee by sea and land, whose name was George Villers Ryght Honorable.'

The church of the *HOLY ROOD, CROFTON*, has a chancel with south chapel, a north transept with north vestry, a large south transept, and a nave with south porch and west bell-turret.

The plan is irregular, the chancel not being on the same axis as the nave, and owing to modern alterations there is little guide to the earlier history of the building. The chancel and north transept seem to be early fourteenth-century work, their walls being unusually thin, nowhere more than 2 ft.

The south transept is a modern addition in poor Gothic style, of much larger area than the north transept, and contains nothing of note beyond the large white marble monument of Thomas Missing, 1733, with his arms, gules a cheveron between three molets argent and a chief or.

The chancel, 15 ft. 8 in. by 13 ft., has a modern two-light east window, on the north a repaired squareheaded window of two trefoiled lights, c. 1320, and on the south a single uncusped light. To the west of this a pointed arch of two orders opens to the south chapel, which has a two-light east window cinquefoiled, and a modern south doorway. To the north of the window is a plain corbel for an image. The chancel arch, which seems to be of fourteenth-century work, dies out at the springing, and on the same line at the west of the south chapel is a half arch with a moulded string at the springing, which looks like early thirteenth-century detail.

The north transept, 12 ft. 9 in. by 8 ft. 6 in., which opens to the nave by an arch like the chancel arch, has a three-light north window with net tracery, and a square-headed east window of two lights, both c. 1320–30. In the north wall is a narrow doorway, and west of it a blocked low side window with an internal rebate for a wooden frame. The doorway now opens to a modern vestry built against the north wall of the transept. In the west wall of the transept is a single trefoiled fourteenth-century light.

The nave, 51 ft. 3 in. by 19 ft., has three squareheaded north windows, each of two trefoiled lights, one south window of the same type, and a four-centred south doorway, all of fifteenth-century style, but mostly of modern masonry. There is a three-light west window with a circular window over it, both modern.

The roofs of the chancel, nave, and north transept are old, but without detail by which their approximate date may be deduced; all other woodwork in the church is modern, except the pulpit, which is of eighteenth-century date.

Externally the roofs are red-tiled, and at the west end of the nave is a boarded turret containing one bell by Clement Tosier, 1710.

The church of *ST. MARY, HOOK*, built in 1871, is of stone in Early English style, and consists of chancel, nave of four bays, aisles, transepts, north and south porches, and a western turret containing one bell. The register dates from 1871.

The church of *ST. PAUL, SARISBURY*, built in 1836, and partly rebuilt and enlarged in 1888, is of brick and stone in Early English style, and consists of chancel, with organ chamber and vestry, nave, transepts, and western tower containing a clock and one bell. The register dates from 1837.

The font, near the south door, has an octagonal bowl on a short stem, and may be of fifteenth-century date. This church is now used only as a mortuary chapel, a new building of the same name having been erected in 1871 to serve as the parish church.

ADVOWSONS

The first mention of the advowson of Titchfield appears to be in 1231, when the right of presentation was granted with the manor to the abbot and convent of Titchfield. (fn. 174) The abbey presented from 1302 to 1539, and from that time the descent of both the manor and advowson are identical till 1856, when the patronage passed to the dean and chapter of Winchester. (fn. 175)

There was a church at Crofton in 1086 which is probably identical with the chapel of St. Edmund mentioned in the fourteenth century in connexion with the grant of the manor to the abbot and convent of Titchfield. (fn. 176) As it was never assessed separately in any ecclesiastical valuation, and there is no evidence to show that it has ever been a separate ecclesiastical unit, it was probably a chapel of ease to Titchfield and was served by the same incumbent. The ecclesiastical parish of Crofton was formed from Titchfield in 1871.

The living of St. Mary's, Hook, is a vicarage in the gift of the bishop of Winchester, and that of St. Paul's Sarisbury, also a vicarage, is in the gift of the vicar of Titchfield. There is an iron church at Lee-on-the-Solent, Congregational chapels at Sarisbury and Warsash, a Baptist chapel at Sarisbury, and a Wesleyan chapel at Lee-on-the-Solent.

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CHARITIES

The charities of Robert Godfrey, of Henry earl of Southampton, and Richard Godwin, are now dispensed under a scheme issued by the Charity Commissioners, dated 17 December, 1897, and 9 December, 1902, under the title of 'The Charities of the Earl of Southampton and Others.' Robert Godfrey's charity founded by deed 1597, consists of land, cottages, and stable, let at £28 a year. Richard Godwin's charity is a rent-charge of £4 issuing out of Pressmoore's estate at Glastonbury, Somerset. The trust estates of the earl of Southampton's charity consist of about twenty-seven acres of land, tenements, and gardengrounds, producing a gross income of £115 a year. By the schemes above referred to the annuity of £4 is directed to be applied in the advancement of the education of children in a public elementary school, by way of prizes, together with a further sum of £10 out of the general income, and subject thereto the residue of the yearly income for the benefit of poor persons resident in the civil parish, and in default in the ancient parish of Titchfield. In 1905 £24 was paid to pensioners, £5 in tools for apprentices, and subscriptions were made to provident clubs.

Mrs. Charlotte Hornby, by her will proved 1890, bequeathed a legacy represented by £1,865 5s. 8d. consols, the income from which, amounting to £46, is applied equally in subscriptions to clothing clubs and in the distribution of blankets at Christmas.

Seymour Robert Delmé in 1894 bequeathed £1,000 to the vicar and churchwardens of Titchfield church, which is invested in consols to the amount of £910 12s., the income from which, amounting to £22 15s., to be distributed among the poor. He also left £500 invested in consols to the amount of £455 5s. 8d., producing an income of £11 7s. for the repair of the church.

A recreation ground, 4 acres in extent, was by an award in 1866 dedicated to the use of the parishioners, to which an additional 5 acres was given by deed in 1897.

Seymour Robert Delmé, by his will proved in 1894, left £1,383 7s. 5d. India stock, producing an income of £41 10s., one-third of which is to be applied in the advancement of the children of Crofton, and two-thirds for the benefit of the poor. In 1867 4 acres and 22 poles of land were awarded to Crofton as a recreation ground, any profits from the pasturage, averaging £3 a year, to be applied for public uses.

In 1885 E. J. Sartoris gave a site, and building thereon, to be used as a reading room for Hook with Warsash.

In 1866 a recreation ground of 6 acres and 22 poles was awarded for the use of the inhabitants of Sarisbury, and by deed dated 1892 Mrs. L. Seymour gave a parish room, which was vested in 'The Official Trustee of Charity Lands,' by an order of the Charity Commissioners, dated 5 July, 1892.

Footnotes

1. Statistics from Bd. of Agric. 1905.
2. a *Dict. Nat. Biog.* xxv, 429.
3. *Cal. S.P. Dom.* 1675–6, pp. 195–8.
4. a *Cal. S.P. Dom.* 1641, p. 250; *Hist. MSS. Com. Rep.* xlv, 123.
5. *V.C.H. Hants*, 1, 456; *Cal. of Pat.* 1307–13, p. 20.
6. a *L. and P. Hen. VIII*, xiii (1), 19.
7. Chan. Inq. p.m. (Ser. 2), No 7.
8. a *Pat.* 29 Hen. VIII, pt. 1, m. 4.
9. W. & L. Inq. p.m. 4 Edw. VI (Ser. 2), No. 103.
10. a *V.C.H. Hants*, i, 456b.
11. Add. MS. 33284, fol. 1.
12. John de Gisors was holding before 1195, in which year the sheriff accounted for £14 from Titchfield 'which had belonged to John de Gisory.'
13. Add. MS. 33284, fol. 4.
14. a *Testa de Nevill* (Rec. Com.), 237.
15. *Cal. of Chart. R.* i, 71.
16. *Cal. of Close*, 1227–31, p. 132.
17. *Ibid.* 179.
18. *Cal. of Chart. R.* i, 168. Evidently the manor was at this time farmed out for a term of years to Geoffrey de Lucy, warden of Portchester Castle and Forest, and in the charter he was acquitted of £16 due from the farm of the manor.
19. *Chart. R.* 22 Edw. I, No. 87.
20. *Cal. of Pat.* 1422–9, p. 260.
21. *Chart. R.* 25 & 26 Hen. VI, No. 27.
22. Feet of F. Hants and Berks. Mich. 29 Hen. VIII.
23. *Pat.* 29 Hen. VIII, pt. 1, m. 4.
24. There is a letter from Sir Humphrey Forster to Wriothesley asking his favour for John Sampson, late abbot of Titchfield, and stating that if he would obtain for him the benefice of Horsted, Sussex, valued at £13 6s. 8d. and pay the firstfruits he thought the abbot would release him from the pension; *L. and P. Hen. VIII*, xiii, (1), 381.
25. W. & L. Inq. 4 Edw. VI (Ser. 2), No. 103.
26. *Dict. Nat. Biog.* liii, 143.
27. *Pat.* 1 Jas. I, pt. 2.
28. *Papers and Proc. Hants Field Club*, iii (3), 331.
29. Feet of F. Southants, Trin. 10 Anne.

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30. Ibid. Hil. 15 Geo. II.
31. *Papers and Proc. Hants Field Club*, iii (3), 331.
32. *V.C.H. Hants*, i, 456*b*.
33. *Cal. of Pat.* 1307–13, p. 20.
34. Feet of F. Hants, Hil. 56 Hen. III.
35. Pat. 4 Edw. III, pt. 1, m. 38.
36. *Hund. R.* (Rec. Com.), ii, 24; *L. and P. Hen. VIII*, ix, 467.
37. Chart. R. 9 Edw. III, No. 72; *Cal. S.P. Dom.* 1635, pp. 121, 278; *ibid.* 1668–9, pp. 26–8.
38. Chan. Inq. p.m. 30 Edw. III (2nd Nos.), No. 10.
39. Feet of F. Hants, East. 37 Edw. III.
40. Chan. Inq. p.m. 9 Hen. IV, No. 27.
41. Feet of F. Southants, Trin. 34 Hen. VIII.
42. Chan. Inq. p. m. 5 Eliz. pt. i (Ser. 2), No. 15.
43. *Ibid.* 11 Eliz. (Ser. 2), No. 141.
44. *V.C.H. Hants*, i, 463*b*.
45. *Feud. Aids*, ii, 307, 335.
46. *Ibid.* ii, 357; *Surrey Arch. Coll.* iii, 89.
47. Berry, *Hants Geneal.* 198; Add. MS. 34655, fol. 4.
48. *Ibid.*
49. *Ibid.* fol. 5.
50. *Ibid.*
51. Deeds relating to the manor of Bromwich, fol. 5.
52. *Ibid.* fol. 6; Add. MS. 34655, fol. 7.
53. Deeds relating to the manor of Bromwich, fol. 10.
54. *Ibid.*
55. Anct. D. (P.R.O.), A. 3235.
56. Add. MS. 34655, fol. 10.
57. *Ibid.* fol. 8.
58. *Ibid.*
59. *Ibid.* fol. 9.
60. Private information.
61. *Red Bk. of the Exch.* (Rolls Ser.), i, 28.
62. Chan. Inq. p.m. 30 Edw. I, No. 21.
63. Pat. 4 Edw. II, pt. 1, m. 9.
64. Chan. Inq. p.m. 30 Edw. III (2nd Nos.), No. 10.
65. Chan. Inq. p.m. 37 Edw. III (2nd Nos.), No. 16.
66. *Papers and Proc. Hants Field Club*, iii (1), 3.
67. Chan. Inq. p.m. 21 Edw. I, No. 14.
68. *Testa de Nevill* (Rec. Com.), 235; *Feud. Aids*, ii, 308.
69. *Ibid.* 336.
70. *Ibid.* 356.
71. Feet of F. Southants, Mich. 32 Hen. VI, file 33, No. 38.
72. Dugdale, *Mon.* v, 320.
73. *Papers and Proc. Hants Field Club*, ii (3), 242.
74. *V.C.H. Hants*, i, 476*a*, 476*b*.
75. Chan. Inq. p.m. 29 Edw. III (1st Nos.), No. 38.
76. Add. MS. 33284, fol. 59; *Testa de Nevill* (Rec. Com.), 233; Chan. Inq. a.q.d. 5 Edw. III (2nd Nos.), No. 123.
77. *Ibid.* 32 Edw. III (2nd Nos.), No. 53.
78. Add. MS. 33284, fol. 59.
79. *Testa de Nevill* (Rec. Com.), 233.
80. *Feud. Aids*, ii, 308.
81. Add. MS. 33284, fol. 17*b*; Feet of F. Hants, Trin. 1 Edw. III.
82. Pat. 5 Edw. III, pt. 1, m. 5.
83. *Ibid.* 3 Hen. VI, pt. 1, m. 13.
84. *Ibid.* 29 Hen. VIII, pt. 1, m. 4.
85. Afterwards known as the manor of Funtley Parva, and after the thirteenth century as the manor of Funtley Pageham.
86. *V.C.H. Hants*, i, 476.
87. *Plac. de Quo Warr.* (Rec. Com.), 772; Pat. 33 Hen. III, m. 2.
88. Chan. Inq. p.m. 33 Edw. I, No. 268.
89. *Cal. of Pat.* 1301–7, p. 325.
90. Chan. Inq. p.m. 12 Edw. III (2nd Nos.), No. 35.
91. Feet of F. Hants, 54 Hen. III, No. 592.
92. De Banc. R. Mich. 10 Edw. III, m. 404*d*.
93. Chan. Inq. p.m. 33 Edw. I, No. 43.
94. Close, 3 Edw. III, m. 12.
95. *V.C.H. Hants*, i, 502*a*.
96. *Dict. Not. Inform.* 207.
97. *Testa de Nevill* (Rec. Com.), 231.
98. W. and L. Inq. p.m. 14 Jas. I (Ser. 2), bdlle. 24, No. 123.

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99. Chan. Inq. p.m. (Ser. 1), 35 Hen. III, No. 54; Chart. R. 1257–1310, p. 436.
100. *Feud. Aids*, ii, 308.
101. *Ibid.* 336.
102. *Ibid.* 356.
103. Recov. R. Trin. 12 Geo. III, No. 339.
104. Private information.
105. *V.C.H. Hants*, i, 480b.
106. Chan. Inq. p.m. 21 Edw. III, No. 57; *V.C.H. Hants*, i, 480b. At the end of the thirteenth century the prior of Boxgrove was holding $\frac{1}{5}$ of one knight's fee of ancient feoffment of Robert de St. John. *Testa de Nevill* (Rec. Com.), 230.
107. *Feud. Aids*, ii, 308.
108. Chan. Inq. p.m. 17 Edw. III, No. 75.
109. *Ibid.* 2 Hen. IV, No. 54.
110. Dugdale, *Baronage*, li, 137.
111. Chan. Inq. p.m. (Ser. 2), iv, No. 16.
112. *Ibid.* xv (2nd Nos.), No. 7.
113. Feet of F. Southants, Mich. 1 Edw. VI.
114. W. and L. Inq. 4 Edw. VI (Ser. 2), bdle. 5, No. 103.
115. Chan. Inq. p.m. 5 Ric. II, No. 43.
116. *Rot. Parl.* iv, 397; Close, 11 Hen. VI, m. 19.
117. *L and P. Hen. VIII*, xv, 144 (2).
118. *Ibid.* xvi, 503 (25).
119. Pat. 5 & 6 Phil. and Mary, pt. 3, m. 40.
120. Thomas Wriothesley died seised of East Hook and Hook Valence in 1550, while his widow Jane countess of Southampton possessed Hook Mortimer and Hook Valence in 1553, no mention being made of East Hook.
121. W. and L. Inq. p.m. 4 Edw. VI (Ser. 2), bdle. 5, No. 103.
122. Private information.
123. *Wykeham's Reg.* (Hants Rec. Soc.), ii, 281.
124. Pat. 3 Eliz. pt. 3, m. 26.
125. Lee was held of the honour in the thirteenth century. *Testa de Nevill* (Rec. Com.), 241, 233b, 235; Inq. p.m. 21 Edw. I, No. 14; *Plac. de Quo Warr.* (Rec. Com.), 772, 811, &c.
126. Chan. Inq. p.m. 30 Edw. I, No. 21.
127. *Cal. of Close*, 1279–88, p. 81.
128. It was held by the serjeanty of crossing the Channel with the king or as elsewhere expressed (*Red Bk. of the Exch.* 460) crossing to Brittany; *Testa de Nevill* (Rec. Com.), 233, 235, 241b. This is of interest, as Henry II crossed from Stokes Bay (see Alverstoke).
129. Lay Subs. R. 173/4.
130. *Cal. of Inq. Hen. III*, p. 1; *Testa de Nevill* (Rec. Com.), 233b. Peter died in 1268. The Brito or Bruton family had probably been here for some time. There are two undated deeds in the possession of the lord of the manor of Rowner, one being a grant by Hamo Brito de Leya to St. Mary's Abbey of Quarr (founded 1133) and the other a similar deed by Gilbertas le Bret. Both are probably of an early date. *Papers and Proc. Hants Field Club*, iii (1), 3.
131. *Testa de Nevill* (Rec. Com.), 235; Chan. Inq. p.m. 21 Edw. I, No. 14; *ibid.* 30 Edw. I, No. 21; Lay Subs. R. 173/4; *Feud. Aids*, ii, 336.
132. Wrothlesley, *Pedigrees from the Plea Rolls*, 269.
133. *Feud. Aids*, ii, 356.
134. a Close, 20 Hen. VIII, No. 397, m. 35.
135. *Acts of the P.C.* vii, 101–2.
136. *V.C.H. Hants*, i, 462b.
137. Feet of F. Southants, Trin. 2 Hen. VIII.
138. Chan. Inq. p.m. 4 Edw. VI (Ser. 2), No. 103.
139. Feet of F. Hants, 4 John, No. 32.
140. *Ibid.* 28 Hen. III, No. 292.
141. *Cal. of Pat.* 1422–9, p. 260.
142. Feet of F. Div. Cos. Mich. 29 Hen. VIII.
143. Add. Chart. 15692.
144. Chan. Inq. p.m. 14 Eliz. No. 137.
145. Feet of F. Southants (Div. Cos.), Hil. 8 Jas. I.
146. Feet of F. Hants, Mich. 11 Chas. I.
147. From documents in the possession of the lord of the manor.
148. Close, 5 Edw. II, m. 25; Chan. Inq. p.m. 5 Edw. II, No. 47.
149. Chan. Inq. p.m. 9 Edw. II, No. 28.
150. Chan. Inq. p.m. 35 Edw. III, pt. 2, No. 17. The vill and manor of 'Quabbe' was held at this date of the king in chief by the serjeanty of finding one man for 40 days in time of war in Scotland. The profits of the court were worth 6d. per annum.
151. Chan. Inq. p.m. 31 Edw. III (2nd Nos.), No. 10.
152. Feet of F. Hants, East. 37 Edw. III, file 26, No. 60.
153. Feet of F. Hants, Trin. 40 Edw. III.
154. Chan. Inq. p.m. 4 Hen. VI, No. 41. Possibly the Overtons made gifts to the abbey and convent of Titchfield, as the latter held tenements and rent in 'Qwobe' at the Dissolution. Mins. Accts. 30 & 31 Hen. VIII, m. 135.
155. *V.C.H. Hants*, i, 480 a and b.
156. *Testa de Nevill* (Rec. Com.), 230.
157. Feet of F. Hants, Mich. 13 Edw. II; *Feud. Aids*, ii, 386.
158. *Ibid.* 356.

159. Close, 20 Hen. VIII, No. 397, m. 20 and 25.
160. *V.C.H. Hants*, i, 480b. In 1202 Wales de Possebroc granted to Wiburga his wife 50 virgates of land in Stubbington from the fee of the bishop of Avranches; Feet of F. 4 John, No. 32.
161. Dugdale, *Mon.* vii, 934–5.
162. *Testa de Nevill* (Rec. Com.), 230.
163. Dugdale, *Mon.* vii, 934.
164. In 1285 John de Fareham was granted licence to alienate 10 acres in Stubbington to the abbot and convent of Titchfield, and five years later 30 acres in addition; *Cal. of Pat.* 1281–92, pp. 157, 336. In 1346 the abbot acquired 2 acres of land in Chark from John de Chark and Alice his wife; Chan. Inq. p.m. 20 Edw. III (2nd Nos.), No. 57.
165. Dugdale, *Mon.* vii, 934–5.
166. *Ibid.* 931.
167. *Feud. Aids*, ii, 308, 336, 356.
168. *Cal. of Chart. R.* i, 140. There is no evidence of the date of Humphrey's acquisition of the property.
169. *Testa de Nevill* (Rec. Com.), 233b; *Plac. de Quo Warr.* (Rec. Com.), 765.
170. Chart. R. 22 Edw. I, No. 87.
171. Pat. 3 Hen. VI, m. 13; *ibid.* 1 Edw. IV, pt. v, m. 25.
172. Feet of F. Southants, Mich. 29 Hen. VIII; Pat. 29 Hen. VIII, pt. 1, m. 4; being called the manor of Swanwick for the first time.
173. Recov. R. Southants, Trin. 2 Geo. III, No. 59.
174. *Cal. of Chart. R.* i, 168; Pat. 3 Hen. VI, pt. 1, m. 13.
175. Inst. Bks. (P.R.O.).
176. Pat. 5 Edw. III, pt. 1, m. 5.



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however been whitewashed and altered with a large full-height bay window, probably in the 1920s which is the date of the timber-framed archway entrance from High Street constructed from old timbers.

In EAST STREET no house needs special mention, but the entire N frontage is a typical Titchfield range of small two-storey Georgian cottages, some of them with simple canopied or hooded doorways. Here the view is partly closed by a relatively plain Georgian house, marking the corner with Mill Street, which turns off to the N. But traffic finds its way through a narrow gap between it and the house to the S, almost like a town gateway without an upper arch, through which a glimpse is had of the riverside fields, and on the rear elevation the house has a fine two-storey bow.

TITCHFIELD ABBEY, $\frac{1}{2}$ m. N. The Premonstratensian abbey was founded in 1232 by Peter des Roches, Bishop of Winchester. It consisted of an aisleless church with central tower, square-ended choir between shorter side chapels, and fairly long transepts with E chapels. The nave at least was vaulted. The cloister was to the N with, as usual, chapter house to the E and refectory to the N. Alterations subsequent to the time of the foundation were relatively small, and of the parts of the medieval abbey that survive, nothing significant is of later than C13 date.

Thomas Wriothesley, principal beneficiary of the Dissolution in Hampshire (cf. Beaulieu), converted the buildings into a mansion called Place House from 1537 to 1542. The work was supervised by *Thomas Bertie*. He demolished the S transept (selling the stone to Overton, North Hampshire, for the rebuilding of the church tower) and the tower above the crossing, built a grand gatehouse across the central part of the nave, and converted the E part of the church into apartments. The cloister became the central courtyard, and the refectory was reconstructed as the great hall; on the E side a long gallery was formed at first-floor level from the former dormitory, spanning the chapter house, which was converted to a private chapel. Wriothesley became Lord Chancellor (as Baron Titchfield) in 1544 and Earl of Southampton in 1547. He moved from his house at Micheldever (see *Hampshire: North*) to Titchfield, which became his main country seat. He died in 1550. The 4th Earl became Lord High Treasurer after the Restoration. At his death in 1667 without male heir the Wriothesley estate was divided; Titchfield passed after a time to the Dukes of Beaufort, but was sold to the Delmé family in 1741. They later moved to Cams Hall, Fareham (q.v.), and much of Place House was demolished in 1781. The ruins are now maintained by English Heritage.

The shell of the GATEHOUSE is virtually intact – a spectacular work in Caen stone with octagonal angle turrets; entirely Gothic, but of the Tudor variety that developed out of Late Perpendicular: it has cusplless square-headed windows, string courses at several levels and a paucity of fine decoration. There

are canted oriel windows on the two floors above the four-centred archway with its hoodmould; the top of the upper oriel has miniature crenellation. The turrets rise a storey higher than the rest, and, like the parapet of the centrepiece, have battlements – with grotesque gargoyles on the string courses below them. But the most engaging features of the gatehouse are the mock-defensive slits at the bases of the turrets, cross-shaped on the inner angles, vertical only on the outer faces. These could not have had any real defensive significance and are a characteristic expression of power by a new Tudor aristocrat. The N side of the gatehouse, facing the courtyard, is similar, though without any slits. Paired brick chimneys rise from the sides of the gatehouse and add to the complexity of the skyline.

Wriothesley adapted the W part of the original nave by inserting a new floor (the upper storey became the Play House Room), replacing the vaulted roof with a wooden one and refacing, re-fenestrating (irregularly) and slightly heightening the side walls, with battlements added. The NW and SW angle turrets of the medieval nave were altered too, and given octagonal tops matching, though lower than, those of the gatehouse, with more cross-shaped mock-defensive slits made prominent on the SW turret. Nothing remains of the Tudor roof or floor except marks in the rough exposed surfaces of the internal walls. The most telling medieval feature to survive is a slender shaft in the SW angle, retaining a shaft-ring and rising to a bell capital, above which is the broken-off springing of the C13 vault; other wall-shafts survive to show that the nave was of seven bays. The W wall of the nave was reconstructed in brick, and rises with a stepped gable to a well-preserved pair of chimneys. They stand on octagonal bases with cusped panel patterns, and the southern of the round stacks has chevron decoration in moulded brickwork. Fireplaces at either end.

The E end of the former church, as Wriothesley converted it, was demolished in 1781. All that is left on this side of the gatehouse is the shell of the E part of the nave, as far as an octagonal turret which he added on the S side, balancing the one on the SW corner of the original nave. Within this shell is rough exposed stonework, together with the brickwork of a former flue on the S side – associated with a fireplace of which the four-centred stone arch remains. Other fireplaces are exposed in the W wall. The frames of several mullioned windows survive, the taller ones with transoms. The most impressive are a pair of oriels, one on each floor, set in an added Tudor bay on the N side, the exposed inner walls of which are built of brick – although faced outside, like the rest, in stone. Nothing is left of the former crossing except the lower part of the W respond of the N arch – plain and half-octagonal, on a wide, simply moulded base.

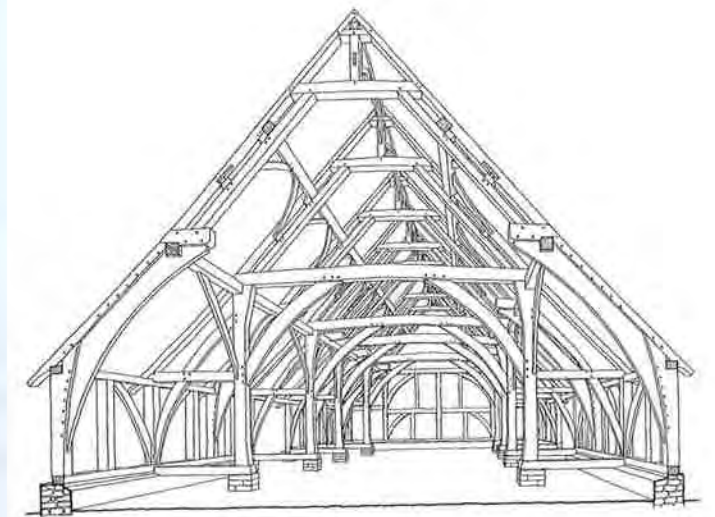
Little is left of the buildings which surrounded the other three sides of Wriothesley's courtyard, successor to the CLOISTER. But part of his remodelled elevation survives on the E side,

including a four-centred doorway within a flat-topped surround, with heraldic and leaf carving in the spandrels. This is set in a projecting canted bay, in front of the site of the monks' library in the N transept.* To the N of this, Wriothesley's altered elevation blocked the frontage to the chapter house, which had been three-arched. The frame of a two-light transomed Tudor window survives in what had been the space of the southern arch, but the existing stonework is more ruinous where the two northern arches had been. Despite this, something of the structure of the medieval frontage is still evident, embedded in the remains of the later stonework. The columns had central, slender, Purbeck marble shafts and four surrounding lesser shafts, rising from composite bases to bell capitals, each finely moulded; fragments of the springing of the arches remain. It must have been an exceptional composition. There is practically nothing left of Wriothesley's great hall which, like the preceding refectory, was built on an undercroft; a stone wall stands on the alignment of the s elevation, and a projection towards its E is probably on the line of the oriel at the high end of the hall; to its E is a simple Tudor doorway. Of the W range of the courtyard, where in monastic and Tudor times was service accommodation, there is a substantial ruinous wall, with the outline of a brick fireplace and part of the fireplace arch.

At several points around the cloister walk and elsewhere are the remains of TILE PAVEMENTS of the late C13 or early C14, their designs varying between floral, bestial, heraldic and simply geometrical patterns but also including at the entrance to the refectory a Latin inscription (*Before you sit down to meat at your table first remember the poor*). Similar tiles have been found on the site of the monastery at Durford in Sussex (near Petersfield), and there are affinities to the C13 pavements at Halesowen Abbey, Worcs. Both these abbeys were Premonstratensian.

ABBEY BARN, SW of the Abbey. 154 ft (47 metres) long, with sweeping tiled roofs, hipped at the ends, and exceptional internal timberwork – of which the main part has been dated 1408–9 through dendrochronology. It is aisled, of sixteen bays, with alternating major and minor trusses. The main trusses have aisle-posts with arch braces to tie-beams; the subsidiary trusses have no aisle-posts, but cruck-like braces from the wall-posts to false hammerbeams at the level of the tie-beams. Each truss has a collar-beam supporting a strut, which itself rises to a second collar-beam under the apex, supporting a ridge-beam which extends for the length of the barn with braces to each strut. This is a highly unusual form of construction for England at the time, as is the existence of purlins clasped between the main rafters and subsidiary rafters which run between the tie-beams and the collars. The two projecting wagon entrances on the E side, with hipped roofs, have been

*A catalogue of its contents survives in the British Library, indicating 326 volumes.



Titchfield, Abbey Barn.
Reconstruction of timber frame by Jonathan Snowdon

dated through dendrochronology to 1560–2. The side and end walls were originally timber-framed, but those to the E and S have been replaced in stone, presumably from the demolished monastic buildings.

PLACE HOUSE COTTAGES, Mill Lane, SE of the Abbey. The core is a timber-framed structure dated by dendrochronology to 1447–8. It formed an open hall of two bays, with well-moulded central truss and eastern wall with closely set studs infilled with herringbone brickwork, visible internally. This seems too small (less than 15 ft (4.5 metres) wide) to have been domestic. It may have been a school provided by the Abbey; Leland noted a grammar school in the vicinity in 1542. s part added c. 1500 in a plainer fashion, without moulding of the timberwork or close studding. A floor was inserted in the central part c. 1600, and the brick casing c. 1800. The single-storey N part may be C18 (late medieval fireplace, presumably from the Abbey).

Buildings on the fringe of village itself are described anticlockwise from the N.

ST MARGARET'S PRIORY, St Margaret's Lane, ¾ m. WNW. Dendrochronology has established that the house was built by the 3rd Earl in 1623. Long brick main range, two storeys, seven bays with gabled ends and a large pair of side stacks with diagonal chimneys. There were rooms on two floors, those on the ground floor with a corridor along the N side, an unusual plan for an ordinary mansion. Two rooms on the first floor have Jacobean overmantels. The curious brick tower, despite its

slightly awkward relationship to the main range, appears to be contemporary and inside has a fine staircase to a roof platform. It may have been a place to watch the hunt.

In the grounds the so-called COACH HOUSE, a two-storey brick building with timber framing in the upper floor, probably contemporary with the main house. What was its purpose? It is just 16 ft (5 metres) square and unheated.

WEST HILL PARK, off St Margaret's Lane, ½ m. w. Probably built in the 1790s, enlarged in the c19 and c20 and now a school. Stuccoed five-bay main front (E); the porch with paired columns was infilled, including an incongruous hood, around 1900. On the S front is a hexastyle veranda, over which a storey has been added. Inside is an oval room. Elegant stone staircase, cantilevered with an oval well.

GREAT POSBROOK, off Posbrook Lane, ½ m. SW. An altered early c17 house, now subdivided. It originally had a very unusual form with a four-bay two-storey central part aligned N-S, gabled at the ends, and wings of equal height which abutted on the N side forming a T-plan. On the N side there is close studding with herringbone brickwork. A large chimneystack projects from the original E wing on its N face, and flanking this on either side at first floor are frames of blocked windows. Each floor in the central part was originally undivided and there is no clear evidence if and how the large rooms were heated or used.

GREAT POSBROOK FARM, S of the house, has an ten-bay aisled BARN c. 100 ft (30 metres) long. Its roof can be dated by dendrochronology to 1579-90 and 1600-22 but confusingly the timbers of these two phases are intermingled in the structure. The slightly wider three bays of the E end may be c18.

3010

TOTTON

Totton was of little consequence until the arrival of the Southampton-Dorchester Railway in 1847. Its expansion was helped by the break-up of the Testwood estate in the mid 1930s but it remained an adjunct of Eling, being known as 'the largest village in England', until 1974, when the conurbation was granted town status.

ST WINFRID, Salisbury Road. 1937 by *N. F. Cachemaille-Day*, an architect whose work is always well worth seeking out. A remarkable essay in broad Italianate Romanesque. Red brick and externally a nave and aisles with an astonishing tower at its SW corner. A tall wide panel across the front with a large cross in decorative brickwork, designed to have figural sculpture. Narrower sides with gabled top. The porch with three large round arches. Inside a broad open square space, with the

altar at the middle of one side, bounded by plain round arches giving access to side annexes, with galleries above. The ceiling of the main space is flat and the walls are all whitewashed.

ST ANNE, Calmore. Built as a mission hall in 1901.

ST THERESA (R.C.), Beaumont Road, off Commercial Road. Originally 1925 by *W. C. Mangan* and very sensitively enlarged 1958-9 in the same Italianate Romanesque manner. The original building of concrete, coloured to look like stone.

FOREST PARK PRIMARY SCHOOL, Ringwood Road. A simple but striking design by *Hampshire County Council Architect's Dept*, 2011-12. A long sequence of classrooms and a taller admin block with an impressive entrance with a flat projecting canopy supported by two pillars.

Totton is not a place to perambulate. However there are scattered among its mundane and rather untidy townscape one or two buildings of note. S of the 1890s gabled STATION, in Station Road, a fun piece of architecture, labelled prominently 'THE STATION HOUSE', built 1899-1900 as the Railway Inn by *Mitchell, Son & Gutteridge*. An irregular assembly, brick with its first-floor projections slate-hung and here and there timber framing. Curved bays and oriels, one with a Chinese-type roof. The 1. wing hexagonal with a conical roof. Hardly altered and an excellent example of the genre.

Just N and E of St Winfrid church is the TESTWOOD area. It had two Georgian houses, Great and Little Testwood. In the middle of the c18 GREAT TESTWOOD was owned by the Serle family (cf. Chilworth), with whom *Capability Brown* spent some time when working in the area on places such as Broadlands. It was demolished in 1935 after the estate was split up. In TESTWOOD LANE, where it joins Stirling Crescent, stands its former LODGE, a small square building of brick, a large blank arch in each façade with rusticated jambs with flint panels. Within the arch on the first floor there are, or were, Diocletian lunettes. On the River Test is a large MILL which incorporates a small Gothick TOWER, three storeys of stone, the longest façade with three quatrefoils in its top storey, the narrower just two. Blank arches in the second floor and a moulded stone entrance at the base. It must date from c. 1750-70 so an association with *Brown* cannot be ruled out.*

LITTLE TESTWOOD, now just called Testwood House, is further N. It seems to have begun as a Tudor hunting lodge of timber-framed construction and there is considerable evidence of this inside. It was however almost entirely rebuilt in the early c18. The main façade of three storeys has a central canted bay with small pediment with ball finials. Two bays on each side. Brick rendered, all the windows with segmental-arched heads and keystones. Restored 1958-60 by *David Waterhouse*.

Finally on the S side of Spicers Hill (A35), just E of the A326 junction, three pairs of mid-c19 Langley Manor ESTATE

*The National Heritage List calls it c. 1840, but surely it must be earlier.

APPENDIX 4.0

THE “ENABLING DEVELOPMENT” SCHEME (APPLICATION REFERENCE P/05/1663/FP)

- A) DECISION NOTICE**
- B) COMMITTEE REPORT**
- C) DESIGN STATEMENT**
- D) REPORT PREPARED BY BRYAN S JEZEPH
CONSULTANCY LTD, NOVEMBER 2005**
- E) AS EXISTING AND PROPOSAL DRAWINGS**
- F) VISUALISATIONS**
- G) SCHEDULE OF WORKS TO THE BARN**



TOWN AND COUNTRY PLANNING ACT 1990
TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995

Ref No : P/05/1663/FP

The Bryan Jezeph Consultancy
The Gallery
3 South Street
Titchfield
Fareham Hampshire
PO14 4DL

for Briercliffe Developments Ltd

Posbrook Lane - Great Posbrooke Farm - Titchfield

Refurbish Grade 2* Listed Building to form Garaging, Convert Shed & Store to form 4No. Dwellings & Erect 6No. New Dwellings

Application Received : 28th November 2005
as amended by plans received 11th January 2006

In pursuance of their powers under the above mentioned Act the Council, as the Local Planning Authority, hereby PERMIT the development described above, in accordance with your application and the plans and particulars submitted in connection therewith, and subject to due compliance with the conditions specified below:

1. The development hereby permitted shall be begun before the expiry of three years from the date of this permission.
REASON: To comply with the procedures set out in the Town and Country Planning (General Development Procedures) Order 1995 and Section 92 of the Town and Country Planning Act 1990.
2. The development hereby permitted shall be carried out strictly in accordance with the drawings stamped approved, subject to such minor amendments to the detailed design of the development as may be approved in writing under this condition by the local planning authority.
REASON: In order to secure a satisfactory form of development.
3. No development shall take place until samples of all external and surfacing materials to be used in the construction of the dwellings hereby permitted, have been submitted to and approved by the local planning authority in writing. The development shall be carried out in accordance with the approved details.
REASON: To secure the satisfactory appearance of the development in accordance with Policy DG5 of the Fareham Borough Local Plan Review.
4. No development shall take place until details of the internal finished floor levels of the

**Chief Development
Control Officer**



dwellings in relation to the existing and finished ground levels have been submitted to and approved by the local planning authority in writing. The development shall be carried out in accordance with the approved details.

REASON: To safeguard the character/appearance of the area and to protect the amenities of nearby residential properties; to safeguard the setting of the listed building; in accordance with Policies DG1, DG5 and HE3 of the Fareham Borough Local Plan Review.

5. No development shall take place until a detailed landscaping scheme identifying all existing trees, shrubs and hedges to be retained together with the species, planting sizes, planting distances, density, numbers and provisions for future maintenance of all new planting, including all areas to be grass seeded and turfed, has been submitted to and approved by the local planning authority in writing.

REASON: In order to secure the satisfactory appearance of the development; in the interests of the visual amenities of the locality; in accordance with Policies DG4, DG5 and DG6 of the Fareham Borough Local Plan Review.

6. The landscaping scheme, submitted under Condition 5 above, which shall also include the demolished of all buildings stated as to be demolished on drawing 480/02 Rev A shall be implemented within the first planting season following the commencement of the development or as otherwise agreed in writing with the Local planning authority and shall be maintained in accordance with the agreed schedule. Unless otherwise agreed, any trees or plants which, within a period of five years from first planting, are removed, die or, in the opinion of the local planning authority, become seriously damaged or defective, shall be replaced, within the next available planting season, with others of the same species, size and number as originally approved.

REASON: To ensure the provision, establishment and maintenance of a standard of landscaping; in accordance with the approved designs in accordance with Policies DG4, DG5 and DG6 of the Fareham Borough Local Plan Review.

7. No development shall take place until a scheme of tree protection, in accordance with BS5837:2005 - Table 1, has been submitted to and approved by the local planning authority in writing and which shall take into account trees both on and off site which may be affected. The agreed scheme shall be implemented before any of the substantive development is commenced and shall be retained throughout the development period until such time as all equipment, machinery and surplus materials have been removed from the site. Within the areas so fenced nothing shall be stored or placed and the ground levels shall not be altered.

REASON: To ensure that the trees, shrubs and other natural features to be retained are adequately protected from damage to health and stability during the construction period; in accordance with Policies DG3, DG4, DG5 and DG6 of the Fareham Borough Local Plan Review.

8. No development shall take place until there has been submitted to and approved in writing by the local planning authority a plan indicating the positions, design, materials and type of

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Control Officer**



boundary treatment to be erected. The boundary treatment shall be completed before the buildings are occupied or in accordance with a timetable agreed in writing with the local planning authority and shall thereafter be retained at all times

REASON: In the interests of residential amenity and the interests of the visual amenity of the area; in accordance with Policies DG4, DG6 and C3 of the Fareham Borough Local Plan Review.

9. No dwelling hereby permitted shall be occupied until visibility splays of 2.4 metres x 60 metres have been provided at the junction of the existing and proposed access/egress with Posbrook Lane. The visibility splays shall thereafter be kept free of obstruction at all times.

REASON: In the interests of highway safety; in accordance with Policies DG5 and T5 of the Fareham Borough Local Plan Review.

10. Notwithstanding the provisions of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995 (or any subsequent Order revoking and re-enacting that Order) at no time shall any, enlargement (including any enlargement to the roof of any dwelling) building or enclosure be constructed/erected within the curtilage of any of the dwellings hereby permitted unless otherwise agreed in writing by the local planning authority following the submission of a planning application made for that purpose.

REASON: To safeguard the visual amenities of occupiers of the development as a whole and the character and appearance of the rural surroundings as a whole in accordance with Policies DG5 and C3 of the Fareham Borough Local Plan Review.

11. Notwithstanding the provisions of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995 (or any subsequent Order revoking and re-enacting that Order) at no time shall any windows or transparencies be inserted at first floor level into the eastern elevation of the dwellings 9 and 10 hereby permitted unless otherwise agreed in writing by the local planning authority following the submission of a planning application made for that purpose.

REASON: To prevent overlooking and to protect the privacy of the occupiers of the adjacent properties in accordance with Policy DG5 of the Fareham Borough Local Plan Review.

12. No development shall take place at the site until a listed building consent has been granted for the restoration of the Grade II* listed barn. The use of the Grade II* listed barn to the south of dwellings 1 and 10 shall be confined to pedestrian and vehicular access, the parking of ten private motor vehicles and the domestic storage needs of dwellings within the permitted development only. Ten car spaces shall be permanently marked out on the finished floor of the building. No structure, plant or equipment whatsoever shall be attached to or supported by the internal or external structure of the building. Nothing whatsoever shall be placed or stored within the building which obstructs the continued use any one or more of the ten marked car spaces.

REASON: To define the permitted use of the building concerned, to ensure that adequate covered parking is made available for the dwellings concerned, and to safeguard the

**Chief Development
Control Officer**



structure and fabric of the Grade II* Listed building in accordance with policies T5 and HE2 of the Fareham Borough Local Plan Review.

13. No works of demolition or site clearance shall be undertaken between the calendar months of March to November inclusive.
REASON: To safeguard the interests of protected species nesting within the existing buildings and structures on the site in accordance with policy C18 of the Fareham Borough Local Plan Review.
14. No development shall take place until there has been submitted to and approved in writing by the Local planning authority:
a) a desk top study of the former uses of the site and adjacent land and their potential for contamination: and
b) should the study reveal a potential for contamination, an intrusive site investigation and assessment of the risks posed to human health, the building fabric and the wider environment including water resources should be carried out: and
c) Where the site investigation and risk assessment reveals a risk to receptors, a detailed scheme for remedial works to address these risks and ensure the site is suitable for the proposed use shall be submitted to and approved by the local planning authority in writing.
d) The presence of any unsuspected contamination that becomes evident during the development of the site shall be brought to the attention of the Local planning authority. This shall be investigated to assess the risks to human health and the wider environment and a remediation scheme implemented following the written approval of the Local planning authority. The approved scheme for remedial works shall be fully implemented before the permitted development is first occupied/brought into use. On completion of the remedial works and prior to the occupation of any properties on the development, the developer and/or his approved agent shall confirm in writing that the works have been completed in full and in accordance with the approved scheme.
REASON: To ensure that any contamination of the site is properly taken into account before development takes place; in accordance with Policy DG4 of the Fareham Borough Local Plan Review.
15. No development shall take place until details of the measures to be taken to prevent spoil and mud being deposited on the public highway by vehicles leaving the site during the construction works have been submitted to and approved by the Local planning authority in writing. The approved measures shall be fully implemented upon the commencement of development and shall be retained for the duration of construction of the development.
REASON: In the interests of highway safety and the amenity of the area in accordance with Policies DG5 of the Fareham Borough Local Plan Review.
17. No work relating to the construction of any of the development hereby permitted (Including works of demolition or preparation prior to operations) shall take place before the hours of 0800 or after 1800 Monday to Friday, before the hours of 0800 or after 1300 Saturdays or at all on Sundays or recognised public holidays, unless otherwise first agreed in writing with

**Chief Development
Control Officer**



the Local planning authority.

REASON: To protect the amenities of the occupiers of nearby residential properties; in accordance with Policies DG1 of the Fareham Borough Local Plan Review

18. No materials obtained from site clearance or from construction works shall be burnt on the site.

REASON: To protect the amenities of nearby residents; in accordance with Policy DG1 of the Fareham Borough Local Plan Review.

Further Information:

1. (i) Your attention is drawn to the enclosed Warning Notice relating to development not in accordance with approved plans. The protocol for 'Dealing with variations to Planning Permission' is available from the Civic Offices or in the Council's web site www.fareham.gov.uk

(ii) You are also reminded that where a decision contains conditions which are required to be discharged before development commences, to commence development before those conditions are discharged means that the development is not pursuant to the planning permission and is therefore UNAUTHORISED DEVELOPMENT.
2. (i) This permission is granted for the following reasons:-
The development is in accordance with the Policies and Proposals of the Development Plan set out below, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

(ii) In determining this application the following policies of the development plan were taken into account:
Fareham Borough Local Plan Review 2000:C1, C2, C3, C16, H11, H12, HE2, DG1, DG3, DG4, DG5, R5, C18 and T5

**Chief Development
Control Officer**

+ Conds.

- (4) P/05/1663/FP
BRIERCLIFFE DEVELOPMENTS LTD

TITCHFIELD
Agent: THE BRYAN JEZEPH
CONSULTANCY

REFURBISH GRADE 2* LISTED BLDG
FORM GARAGING, CONVERT SHED
& STORE TO FORM 4NO. DWELLINGS
& ERECT 6NO. NEW DWELLINGS

POSBROOK LANE
GREAT POSBROOKE FARM
TITCHFIELD

OFFICERS REPORT - Tony Boswell Ext 2526

Expires

27

Site Description

The site is a redundant farm complex at Posbrooke Farm to the south of Titchfield on Posbrook Lane. The dwellings of Great Posbrook House lie immediately to the east. Six semi-detached houses known as Great Posbrook Cottages are opposite.

Description of Proposal

The proposal involves the clearance of all of the existing buildings of modern origin, and the retention of a Grade II* Listed Barn. Two other existing buildings which are locally listed would be substantially re-built to provide a total of four new dwellings. A further six dwellings would be constructed to create an all new layout with those retained – the design objective being to create an analogy of a traditional courtyard "Farmstead". The existing farm entrance would be retained and a new entrance created towards the northern part of the frontage. The existing frontage hedge would be retained at reduced height. The land to the south of the large barn to be retained would be kept entirely clear and all new and retained buildings grouped to the north.

Buildings as proposed by reconstruction or new-build are individually designed in a palette of agricultural styles and in design terms are of exceptional quality.

The total floor area of existing buildings on site is 3,919 sq metres, of which 831 sq metres would be retained and 3088 sq metres demolished – along with a good deal of hard standings and other agricultural plant, tanks and silos. The new build element would total 1197 sq metres. Thus the finished effect would be a reduction in building area from 3,919 sq metres to 2028 sq metres – or 49%.

The proposal is linked to a proposed Section 106 Agreement which, among other matters, will fund a Road Traffic Order to extend the existing 30 mph speed limit from the edge of the village to a point south of the existing farm entrance. A new footpath would also be funded along the west (opposite) side of Posbrook Lane north to the village. The owners of the new dwellings would be jointly and severally liable for the future maintenance of the listed barn and related open areas.

Policies

Fareham Borough Local Plan Review Policies C1, C2, C3, C16, H11, H12, HE2, DG1, DG3, DG4, DG5, R5, T5.

Relevant Planning History

The site has a long history of applications for agricultural buildings and plant, and a previous proposal for residential redevelopment at the site was withdrawn.

Representations

Twelve letters have been received making the following points:

- "Much more sympathetic to the local environment" (than earlier proposals by another applicant).
- Approval for the overall quality of design.
- There is no case for retention of the Grade II* Listed barn as Titchfield has one restored barn already.
- The existing right of way along the southern boundary should be retained
- Design should incorporate water and energy conservation measures.
- The existing 30 mph speed limit should be extended beyond the site
- A footpath link should be provided to the Bellfield Estate
- Trees within the site should be subject to a TPO
- Will set a precedent for development as far as the coast
- Will increase traffic flows into and through Titchfield village
- The northern (new) road access will have poor visibility
- Safeguard the interests of Owls and other wildlife within the retained buildings
- Dwellings 9 and 10 would have an overbearing impact of the outlook from the rear of dwellings within Great Posbrooke Farm. Although now subdivided, Great Posbrook was the dominant building in the locality and that relationship should be preserved.
- Making suggestions for an alternative siting of dwellings 9 and 10 nearer to Posbrook Lane.
- The landscaped area mainly to the south of the retained barn should be safeguarded and not allowed for future additional development.

The Fareham Society

"The Society wishes to support this scheme ... The scheme is an enormous improvement on the plans previously submitted several years ago. It offers the opportunity to restore the buildings of historic interest and also retains the integrity of the Grade II* Listed barn by only using it for car parking and access".

Titchfield Village Trust

"This Trust has no objection to the proposed development provided it will not compromise the objectives of the Local Plan to protect the Coast and Countryside and Strategic Gap policies ...". Make several points about conversion and future management of the site and draw attention to the Site of Importance for Nature Conservation to the south.

Titchfield Haven

Draw attention to Barn Owls within the existing buildings and asking that their presence be safeguarded.

Consultations

Chief Planning and Transportation Officer (Highways) – no objections subject to a contribution towards revision of speed limit, safe forward visibility, inclusion of footpath and lighting.

Chief Planning and Transportation Officer (Conservation) – "The Grade II* barn is a very important listed building of great architectural and historic significance. The proposed development is only justified if it enables its future to be secured without compromising its setting. Whilst I believe that the proposals can in principle be fully supported considerable further work is required to ensure that the alteration, repair and future use of the barn are secured".

Chief Health and Regulatory Services Officer – note agricultural history of the site and ask for a desk top study regarding the potential for site contamination and remediation.

English Heritage – suggest an archaeological watching brief during development. "recommend that this application should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice".

Hampshire Constabulary – no objections

The Ancient Monuments Society

The barn to be retained is on the buildings at risk register. Do not object to the proposals

Society for the Protection of Ancient Buildings

"If a new use for the site is essential, we welcome the fact that the Grade II* barn is to be repaired but kept in a low key use. Our only comment is that it will be essential to ensure that this low key use is not changed in the future. We suggest a Section 106 Agreement, tying this use of the barn and its future maintenance to the occupation of the dwellings".

Comments

The proposed layout of the scheme and the design of individual buildings is complex and is best explained by reference to drawings which will be displayed. As a reflection of relevant policies the key issues in this case can be summarised as follows:

- The effect upon the openness and visual objectives of the countryside and strategic gap policies to the south of Titchfield;
- Traffic and related concerns;
- Neighbourly concerns, including the Site of Importance for Nature Conservation to the south; and,
- The intrinsic qualities of the proposed design as it effects the setting and future maintenance of the Grade II* Listed Barn – and Great Posbrook immediately to the east.

Countryside

The locality of the site forms part of the Countryside and Strategic Gap to the south of Titchfield. This creates a strong presumption against new development other than in exceptional circumstances. The ten proposed dwellings are not related to agriculture, forestry or horticulture and, the six new-build dwellings are not a "re-use, redevelopment or limited extension of an existing building". In strict policy terms the provision of these ten dwellings is contrary to the Council's countryside policies.

In the view of officers however there are a considerable number of other material considerations which should rightly be taken into account in determining the application.

The case in favour of the development is based on; the restoration and long term maintenance of the Listed Barn; retention of unlisted but historic buildings (in reconstructed form); removal of the existing former agricultural buildings and their potential for re-use; the funding of a much improved and beneficial setting to the historic buildings to be retained, and, only insofar as they also have a wider public benefit, the funding of speed restrictions and pedestrian footpath link back to the village edge.

As mentioned above, the reduction in building floor space from 3919 sq metres of generally large and prominent agricultural buildings to 2028 sq metres of smaller scale domestic buildings, with attendant visual improvements to the landscape, will have a marked and beneficial effect upon the visual impact of the site. Paragraph 4.17 of the Fareham Borough Local Plan Review introduces the objectives of Policy C1 in the following terms – *"The Plan seeks to balance the need to allocate land for development with the objective of safeguarding the countryside and maintaining the environmental quality and character of the Borough. Any significant further encroachment of development into the countryside would disrupt the established settlement pattern through increased coalescence and would be harmful to landscape character"*. In visual terms alone, the removal of the existing buildings and their replacement as proposed would not contradict or harm these objectives.

The alternative for potential re-use of the existing buildings for purposes other than agriculture in accordance with Policy C3 would not achieve the benefits outlined above. The businesses likely to use such buildings may also impact upon the character of the area and the amenities of local residents. The existing un-used buildings do however have a nominal existing use value and, along with elements of "over cost" required to fund the benefits to the historic buildings, a development of significant value is required to bring about the proposed benefits listed earlier. At the time of writing this report the applicant has provided credible estimates of the costs involved in the development, and a projection of the values which might arise upon completion. In the view of officers it is evident that development such as that proposed would be necessary to generate sufficient funding to enable the repair and safeguard the future of the historic buildings at the site.

Traffic and Related Concerns

At present the stretch of Posbrook Lane adjacent to the site is used as a "rat run" by vehicles which are often travelling at excessive speed. The existing farm entrance (retained) and the proposed new entrance lie on a bend and, without much destruction of the frontage hedge to provide forward visibility, any significant re-use of Posbrooke Farm would be hazardous. The applicants have offered a Section 106 Agreement which will fund the making of a Road Traffic Order to extend the existing 30 mph speed limit to a point south of the Posbrooke Farm, and the construction of a new footway on the opposite side of the Lane, extending back to the village edge. Those safety measures will also have a wider public benefit in safeguarding users of the existing entrance to dwellings in Great Posbrook, the six existing dwellings opposite, and the farm entrance to the South.

Neither of the two entrances to the development, or the internal roadways within the scheme will approach the adjacent dwellings or gardens in Great Posbrook.

Based on normal projections, the proposed ten dwellings would probably create around 50 to 60 vehicle movements per average day. That projection compares favourably with the scale of traffic generation which might arise from a modest re-use of some but not all of the existing buildings in employment or similar use in accordance with Policy C2. However, any low key re-use would probably not fund the traffic safety measures now proposed, and minimising traffic generation would be a critical issue in considering any such hypothetical alternative use.

Neighbourly Concerns – including the SINC

The fields immediately to the south are notated a Site of Importance for Nature Conservation (SINC) in terms of Policy C16. Their significance is primarily a reflection of their use by migratory birds. The application proposals have no implications for their continued use.

The right of way which forms the southern edge of the site appears to be widely used for access to countryside to the south and east. It is to be retained unchanged, other than a new wooden "stock fence" on its northern side.

The applicants have commissioned an ecological survey of the existing buildings for bats. The report found limited evidence of bats but suggested that no work take place on the existing buildings between March and November. The same restriction would benefit Barn Owls if present. The granting or withholding of a licence for disturbance of species under the Wildlife and Countryside Act is however a matter for English Nature.

Residents of the dwellings in Great Posbrook currently sit adjacent to the existing agricultural buildings and plant. Objections have been raised to the position of the proposed dwellings 9 and 10 (new build) which would form the eastern side of the new courtyard on the north side of the retained Grade II* Listed barn. In that position it would replace a former barn which was burned down in around 1980 although in slightly larger form. Early discussion between officers, English Heritage and the applicants have sought to replace that earlier building with some new building in order to reinstate the historic setting of the Listed Barn which, from early OS plans, has enjoyed a significant building in that location since historic times. Residents also take exception to the proposed materials which are to be black boarding and tile. This building and its location have been discussed at length with the applicant's architect as a result of which a bedroom window which would have looked directly at Great Posbrook has been relocated elsewhere so that all first floor windows face into the scheme, rather than towards Great Posbrook. The building has also been slightly relocated to enlarge the new gardens adjacent to gardens in Great Posbrook. Although the proposed building would be within 6 metres of the boundary hedge, and 25 metres from the nearest part of Great Posbrook, there would hence be no direct overlooking or loss of privacy. The Council's normal minima required for rear garden lengths would be 11 metres rather than 6 metres. However, given the context of historic buildings, the large garden to Great Posbrook, and, the careful avoidance of first floor overlooking, officers feel the neighbourly relationship to be acceptable. The building would be 7.5 metres high to its ridge and the applicant's architect has provided drawings illustrating how its upper part would be visible over the intervening hedge. Shadow lines have also been generated which indicate that its overshadowing effect, when visible above the intervening hedge, would arise only when the sun is low - during evenings. In considering the visual impact of the proposed building on views from Great Posbrook, the view of officers has been led by those agricultural buildings and a silo which would be removed as part of the proposed development. In that light, and with the amendments which have arisen during negotiation, officers believe that the net effect and outlook from dwellings in Great Posbrook would be beneficial rather than of detriment to those dwellings.

The Affect upon the Listed Buildings – Including Great Posbrook

The primary effect of these proposals is to provide for the restoration of the Grade II* Listed Barn within the short term, and to provide for the future maintenance of both that building and its setting over time by the future residents. The design and layout restores the historic pattern of farm yard buildings in a courtyard configuration to the north of the barn and extends that layout principle by retaining the two other buildings of historic merit, and then adding six more dwellings in a variety of agricultural styles. The finished effect

would thus be analogous to a former working farm of good quality buildings, converted to residential use. The area to the south of the barn is to be cleared of its current structures and retained as a paddock, thus opening up views of the barn from the countryside to the south. This largely screens the "new" buildings in views from that same direction. There is no policy of other case why that area would ever be accepted for further development in future.

Great Posbrook is a Grade II Listed building. Although now sub-divided into four dwellings, that building was clearly the original house to which the existing Farm was ancillary. That relationship was severed many years ago and Posbrooke Farm was evidently a working farm used independently of Great Posbrook until recent times. Many of the modern buildings post date that severance and have a clearly detrimental effect upon the setting of the former main house. The proposals would clearly improve the approach to and setting of Great Posbrook in visual terms. The proposed new dwellings are of smaller "vernacular" scale and Great Posbrook would remain the "senior" building within that improved setting.

Conclusion

The proposal relates to a sensitive site in the countryside and strategic gap within the setting of listed buildings. The creation of residential development in the countryside is strictly controlled and in isolation development of this scale is contrary to countryside policies.

In this particular case there are however significant other material considerations which need to be taken into account. First and foremost development undertaken at the site needs to safeguard the future of the Grade II* barn. Details submitted by the applicant demonstrate that the development would enable the necessary works to upgrade and safeguard this important listed building. Furthermore the proposals would remove a large number of fairly modern unsightly agricultural buildings and replace them with a lesser amount of development of high design quality. The potential for reuse by potentially problematic uses would also be avoided.

The development undertaken at the site would enhance both the setting of the barn and the adjacent Grade II listed house, Great Posbrook. The provision of a footway between the site and Bellfield and a reduction in the speed limit adjacent the site would serve both the application site and matters of broader highway safety. In light of these very specific issues officers believe that this proposal which departs from some of the Council's adopted Policies should be permitted.

RECOMMEND:

Subject to:

The applicant/owner first entering into a Section 106 planning obligation on terms drafted by the Solicitor to the Council to secure:

- an appropriate financial contribution to the provision and/or enhancement of public open space and/or recreational facilities

- The restoration of the Grade II* Listed Barn prior to occupation of any dwellings
- That future occupiers shall thereafter be jointly and severally liable for maintenance of the barn and other common area – including the paddock
- Rights of public access to the barn and its setting
- Funding of an Road Traffic Order extend the 30 mph speed limit
- Funding of a new footway and lighting along Posbrook Lane

By the 24th of February 2006

PERMISSION:

External materials samples, levels, hard and soft landscaping, landscaping implementation and maintenance, boundary treatments, tree protection, implementation of sight lines to existing and proposed entrances, removal of permitted development rights to dwellings, no plant, equipment or structure of any description within or attached to the Grade II* listed barn, no work of demolition between March to November inclusive, desk top study of site contamination and remediation, no burning, measures to prevent mud on roads, hours of construction; remove permitted development rights for additional windows on specified plots.

OR:

In the event that a Section 106 Agreement is not completed by the 24th of February 2006

REFUSE:

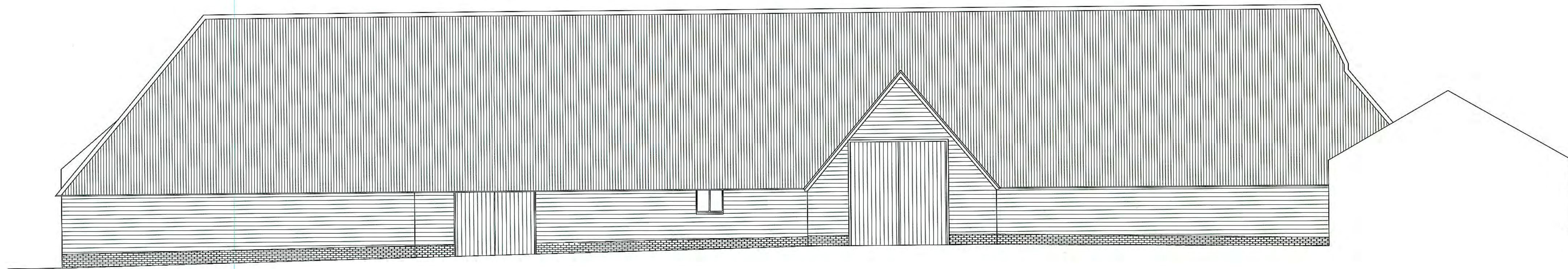
Contrary to Policy, absence of contribution to the provision or enhancement of open space or recreational facilities. Failure to safeguard the future of the barn; contrary to highway/pedestrian safety.

BACKGROUND PAPERS: File P/05/1663/FP, P/05/1664/LB

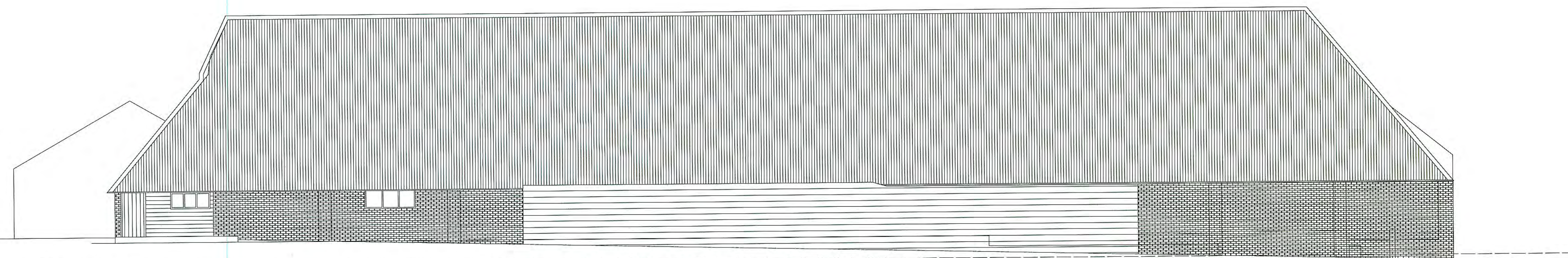
GREAT POSBROOKE FARM

ARCHITECTS DESIGN STATEMENT

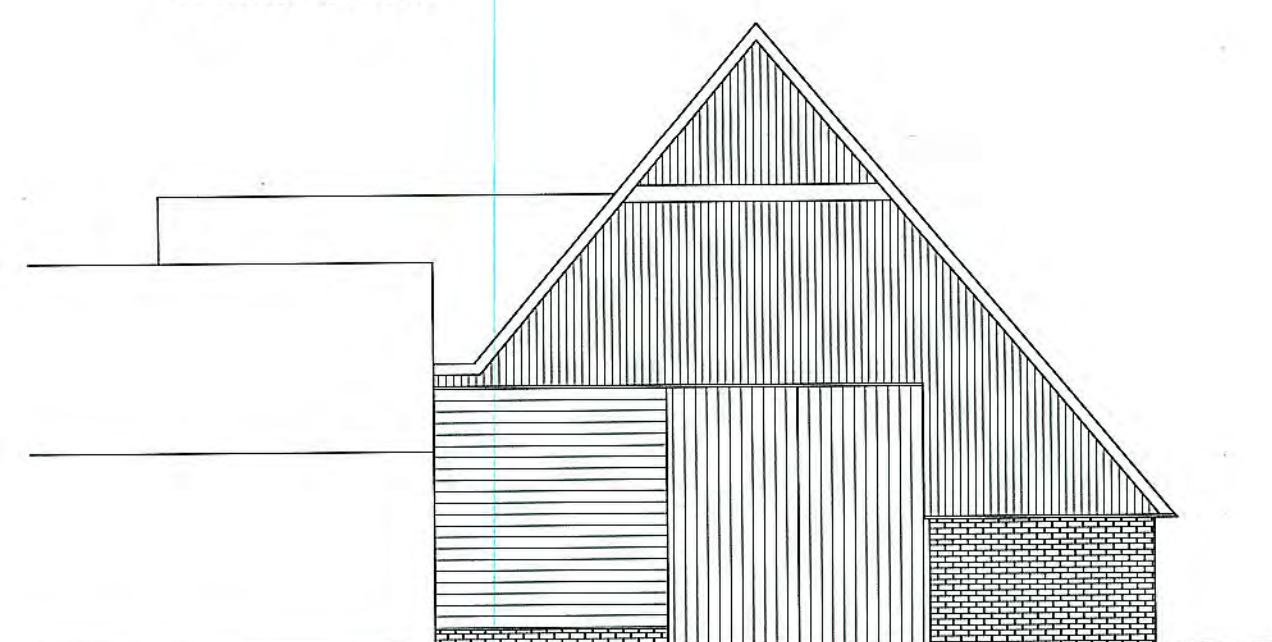
1. Finding a viable and sustainable use for the Great Posbrook Barn has been a problem for many years.
2. Our proposal for its use is simple; the barn is to provide limited garaging for a small housing scheme.
3. The cartshed entrances are left open to create one of the gateways to the new houses. This not only ensures the barn will be permanently ventilated but provides visitors to the site a wonderful opportunity to see the impressive interior.
4. Our scheme also rescues two important buildings which in my view should be saved so they are an important part of the story of the land's agricultural past. These buildings are both locally listed. One of these is the two storey, mis-named old potato store (old stables and granary) and the oak framed six bay cart shed and integrated piggeries. These are to be converted into dwellings and kept for posterity.
5. The remainder of new houses are designed not using the normal palette of domestic architecture but purposefully adopting the forms, massing and detail of agricultural buildings.
6. The Hampshire farm building vernacular dominates all new buildings.
7. Currently there are a number of unsightly buildings on the site which will be swept away. However even counting the new houses the total reduction of structures on the site will be 29,000 sq feet.



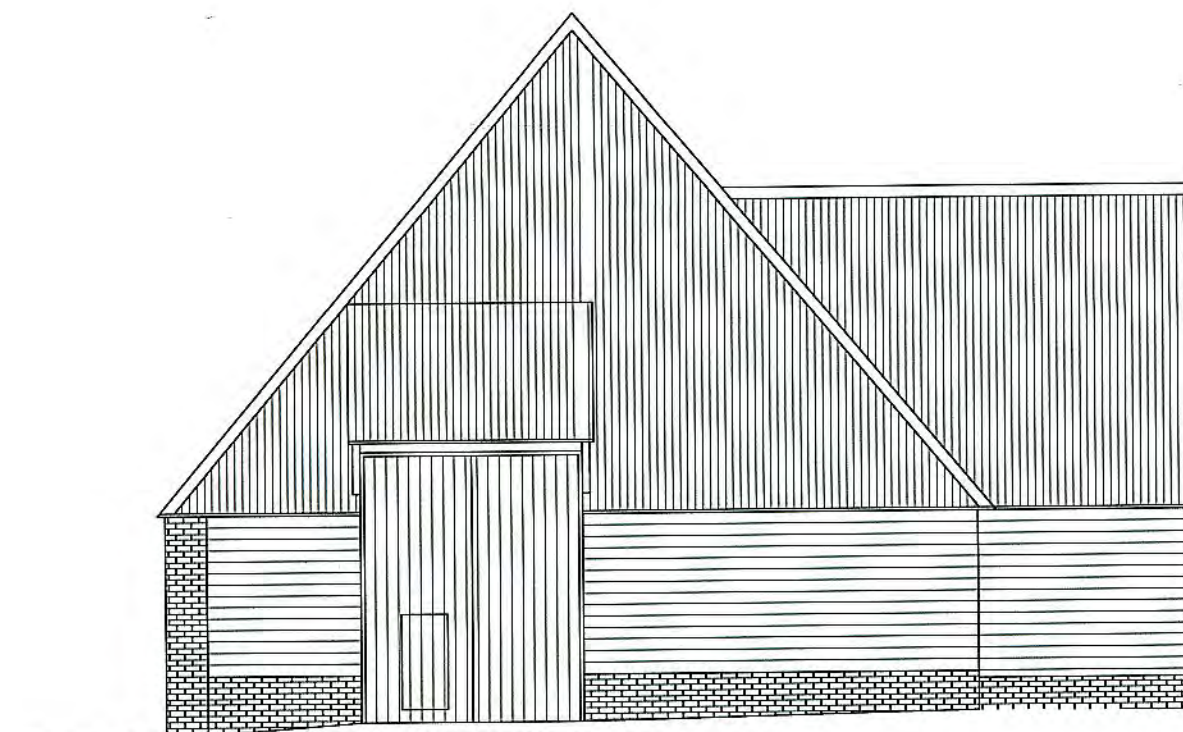
NORTH ELEVATION



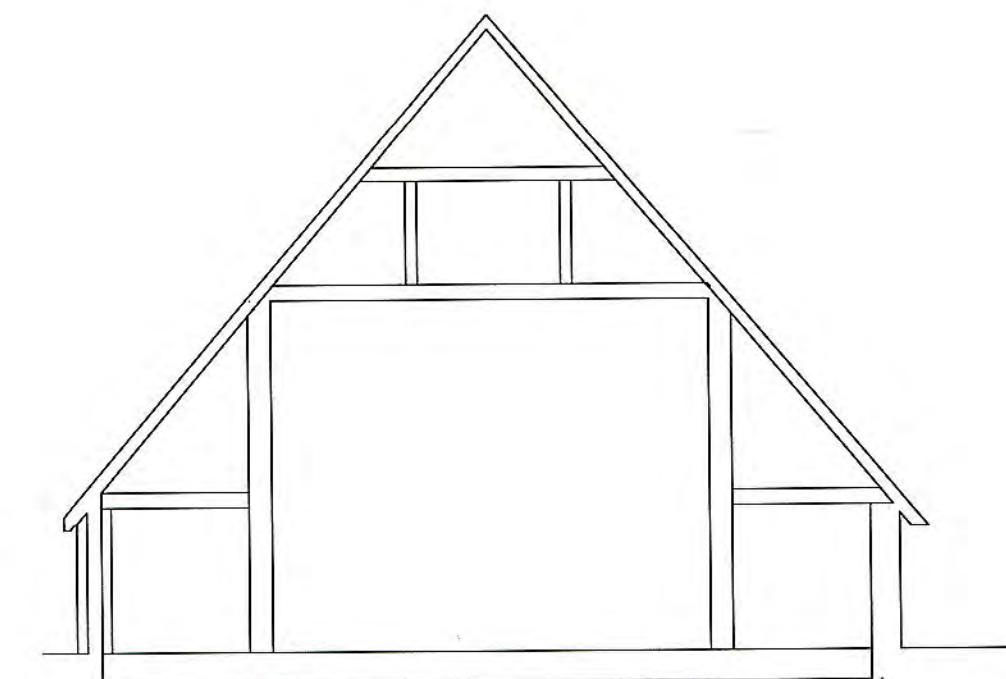
SOUTH ELEVATION



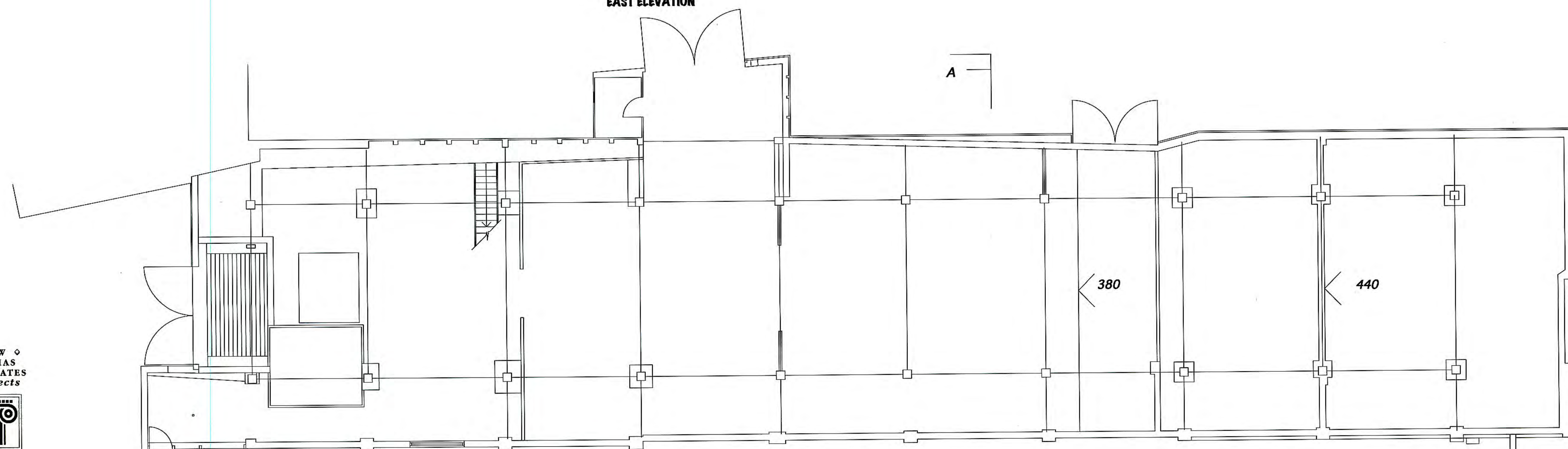
WEST ELEVATION



EAST ELEVATION



SECTION A-A



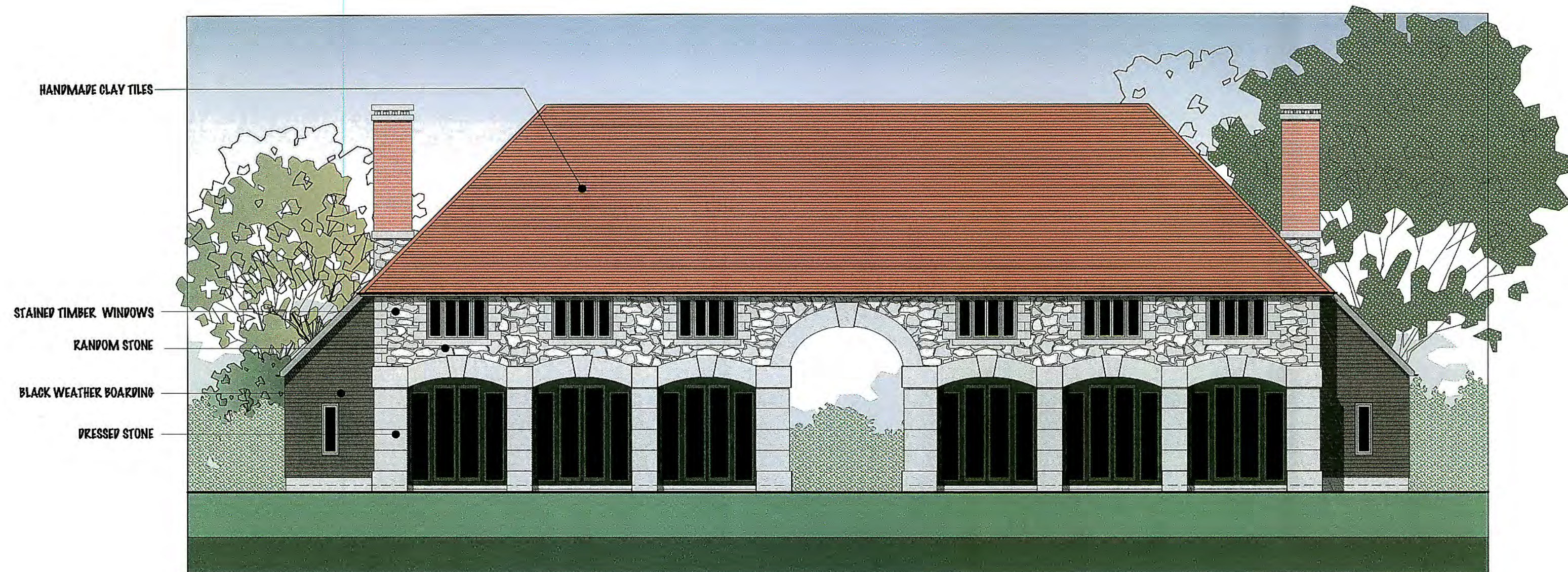
PLAN



FAREHAM BOROUGH COUNCIL DEVELOPMENT CONTROL	
28 NOV 2005	
REF	P105/16631/F
DECISION	

H W THOMAS
 ASSOCIATES
 Architects
 29 Southgate Street
 Winchester
 Hampshire SO1 3JG
 Telephone 01962 856169
 Fax 01962 877752

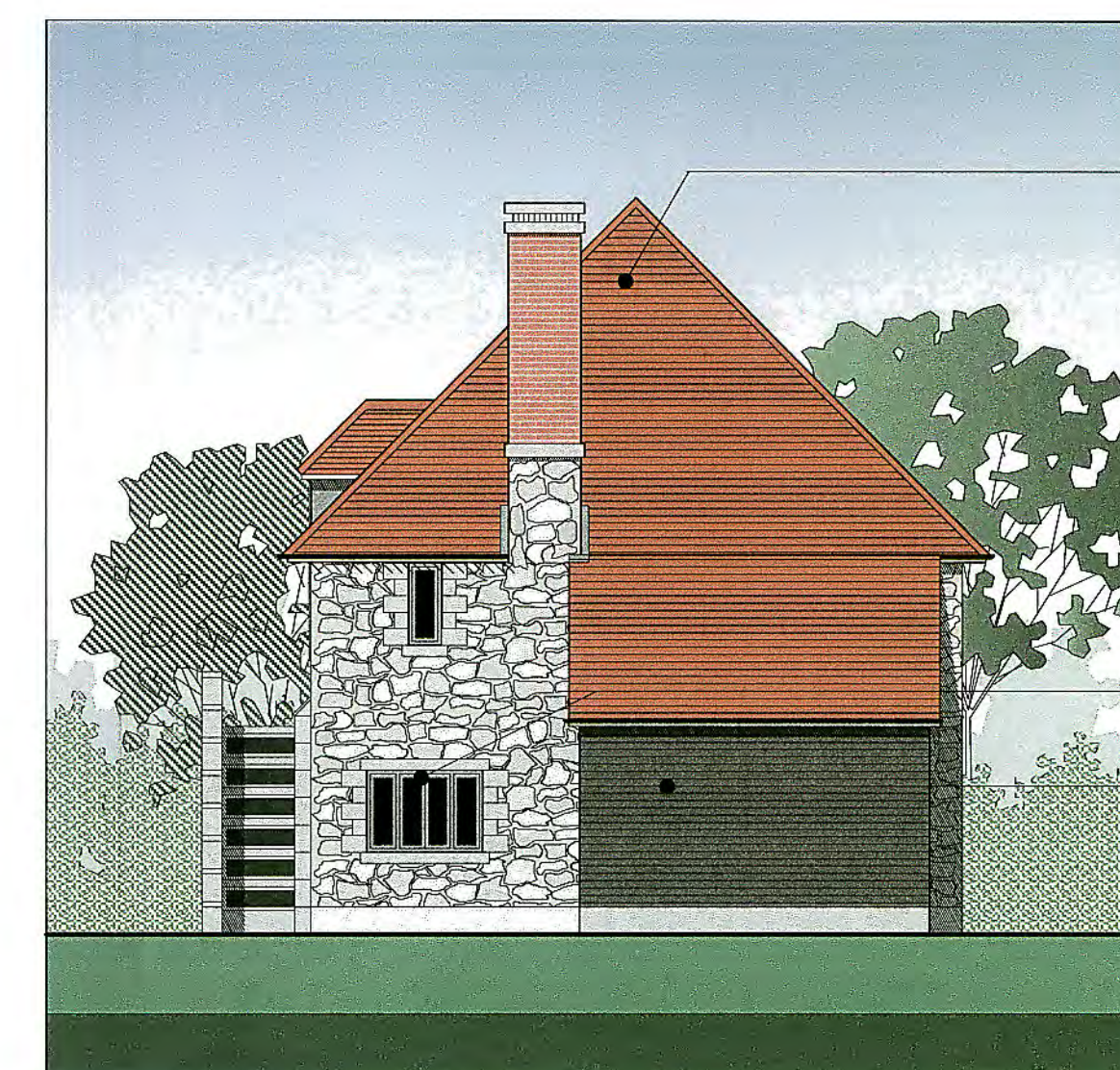
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A: 26/10/05 Planning Application	
JOB: POSBROOKE FARM, TITCHFIELD FAREHAM	
FOR: N H BRIERCLIFFE	
TITLE: MAIN BARN SURVEY	
SCALE: 1:100	DATE: OCT 2005
DRAWING NO: 1480/06	REV: A



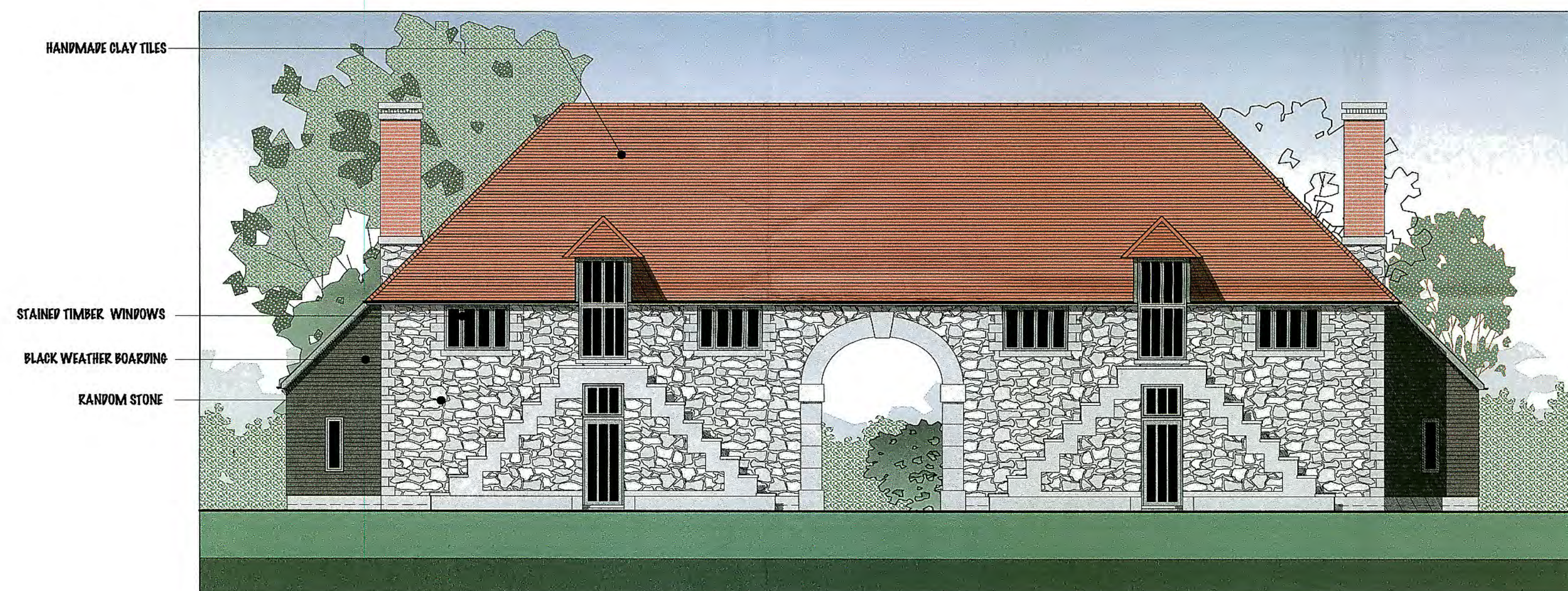
WEST ELEVATION



SOUTH ELEVATION



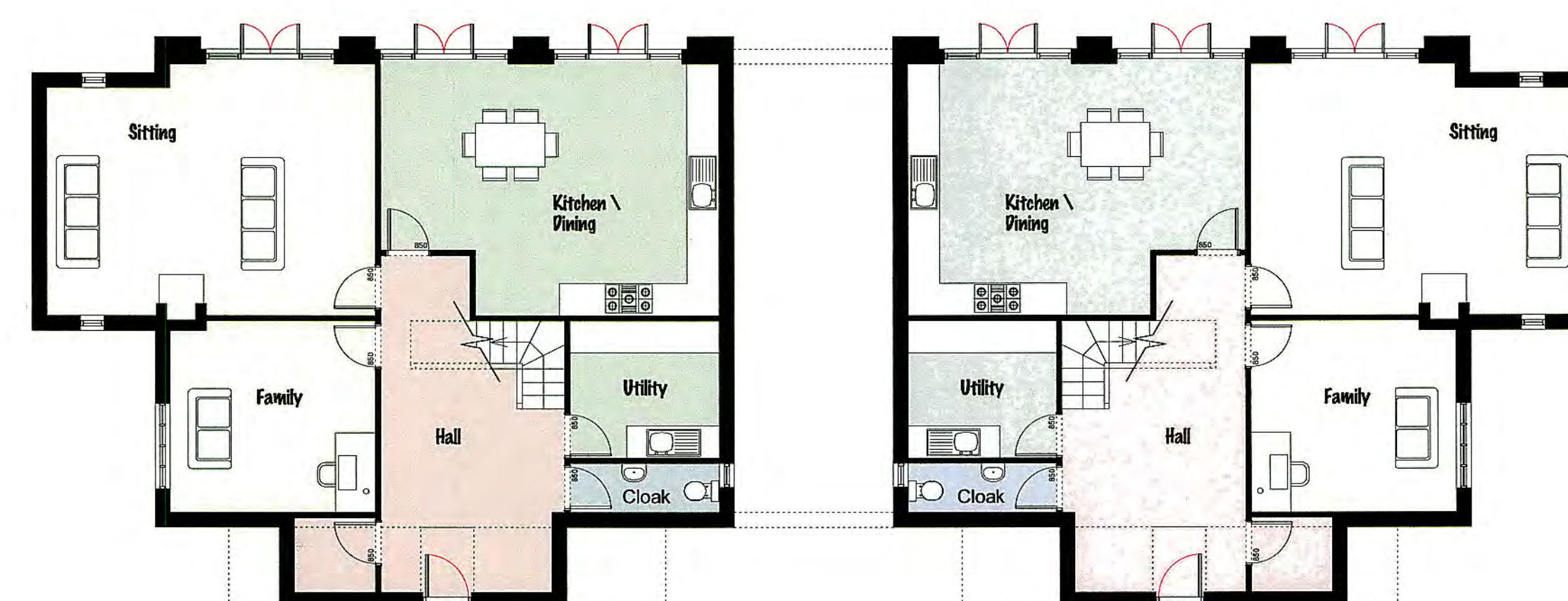
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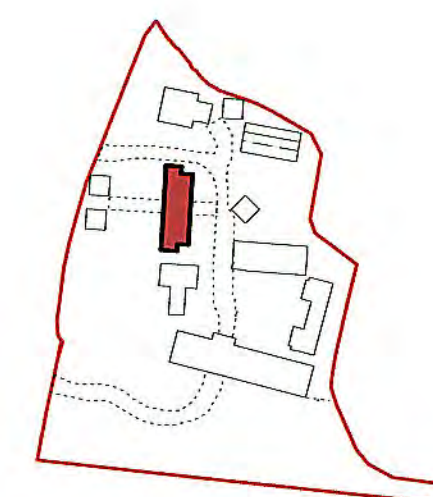
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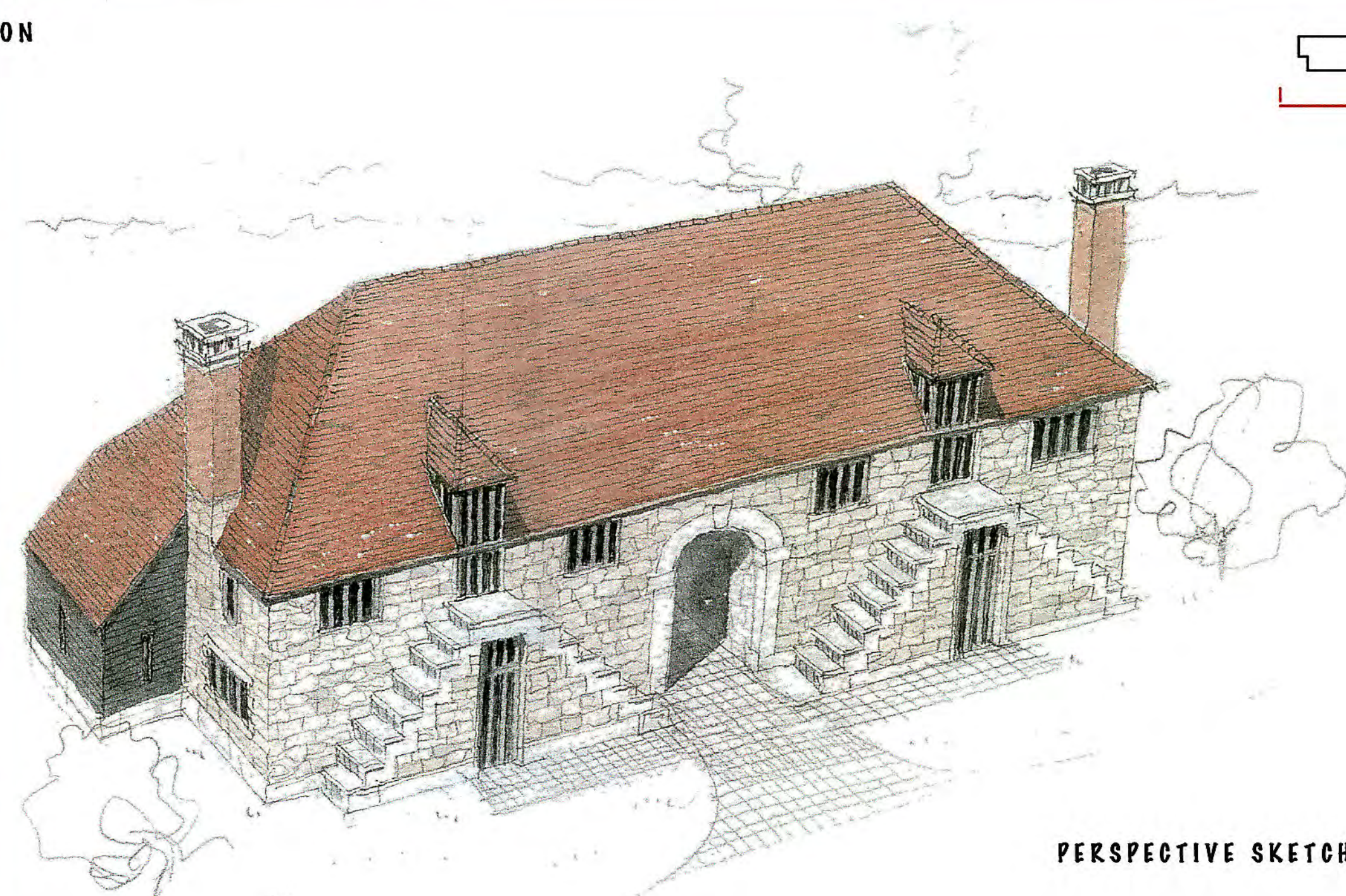
FIRST FLOOR PLAN



GROUND FLOOR PLAN

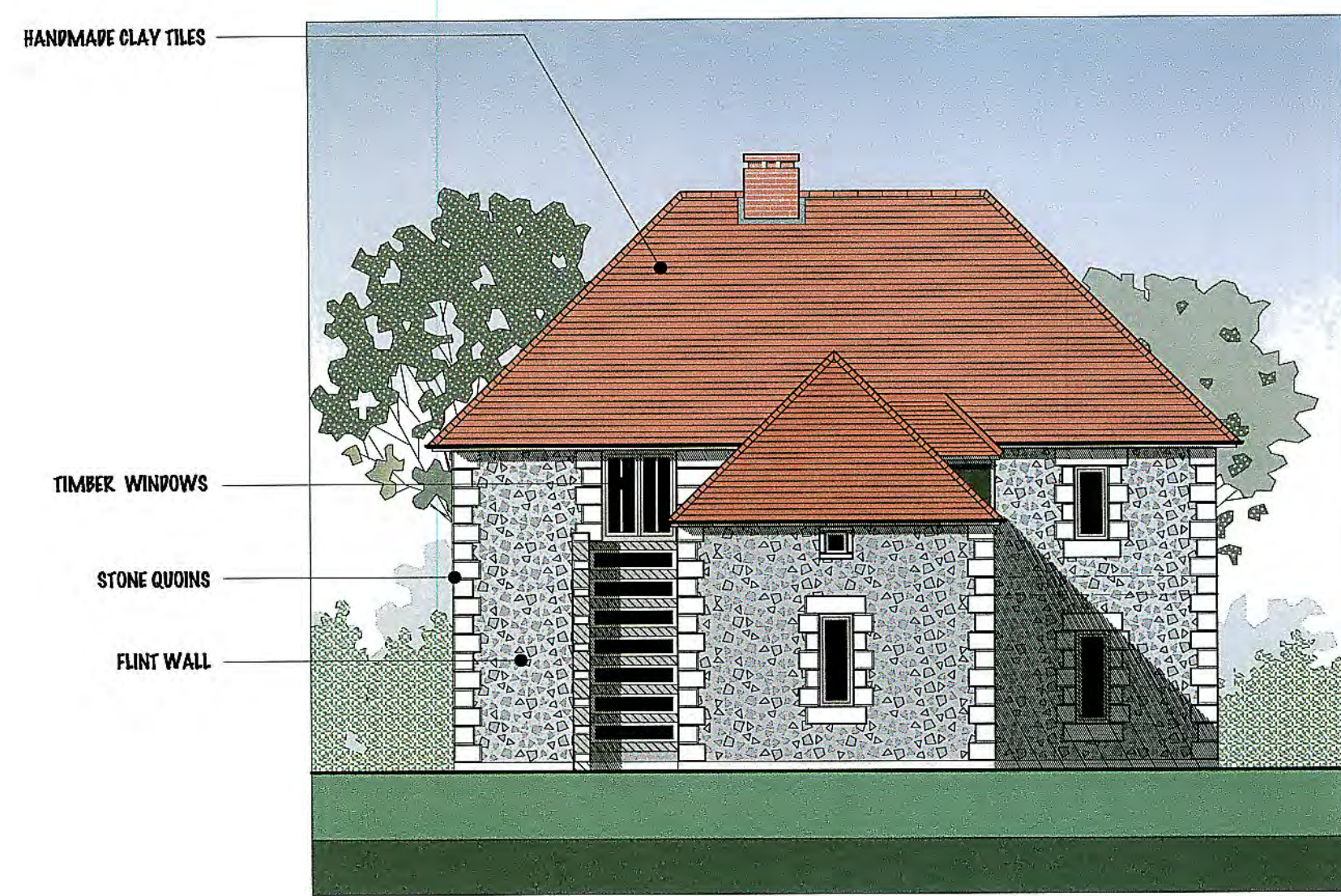


SITE KEY PLAN

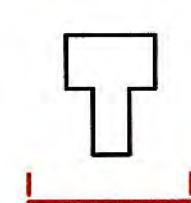


PERSPECTIVE SKETCH

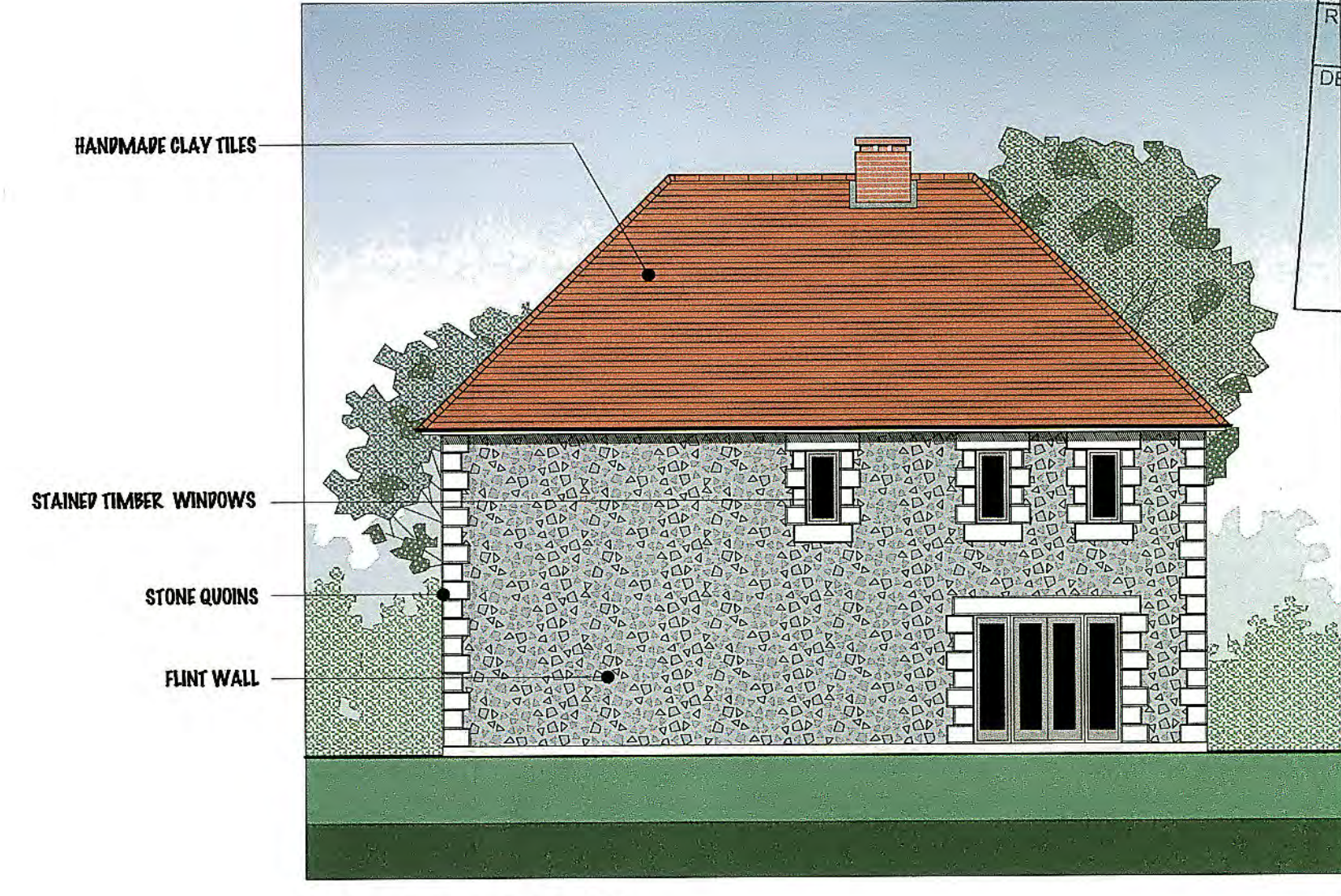
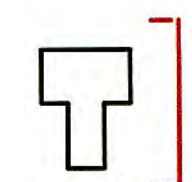
HOUSES 2 & 3



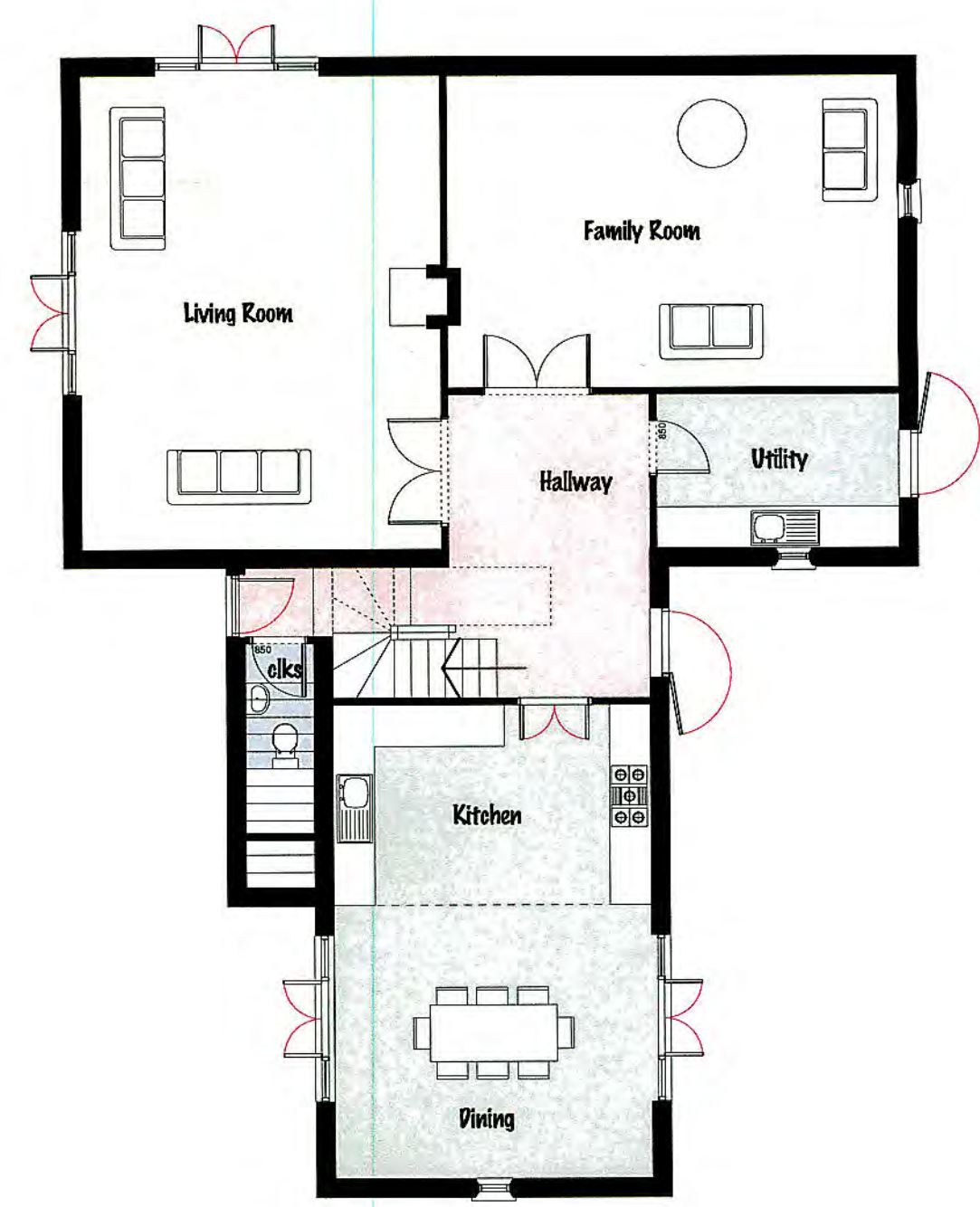
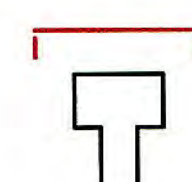
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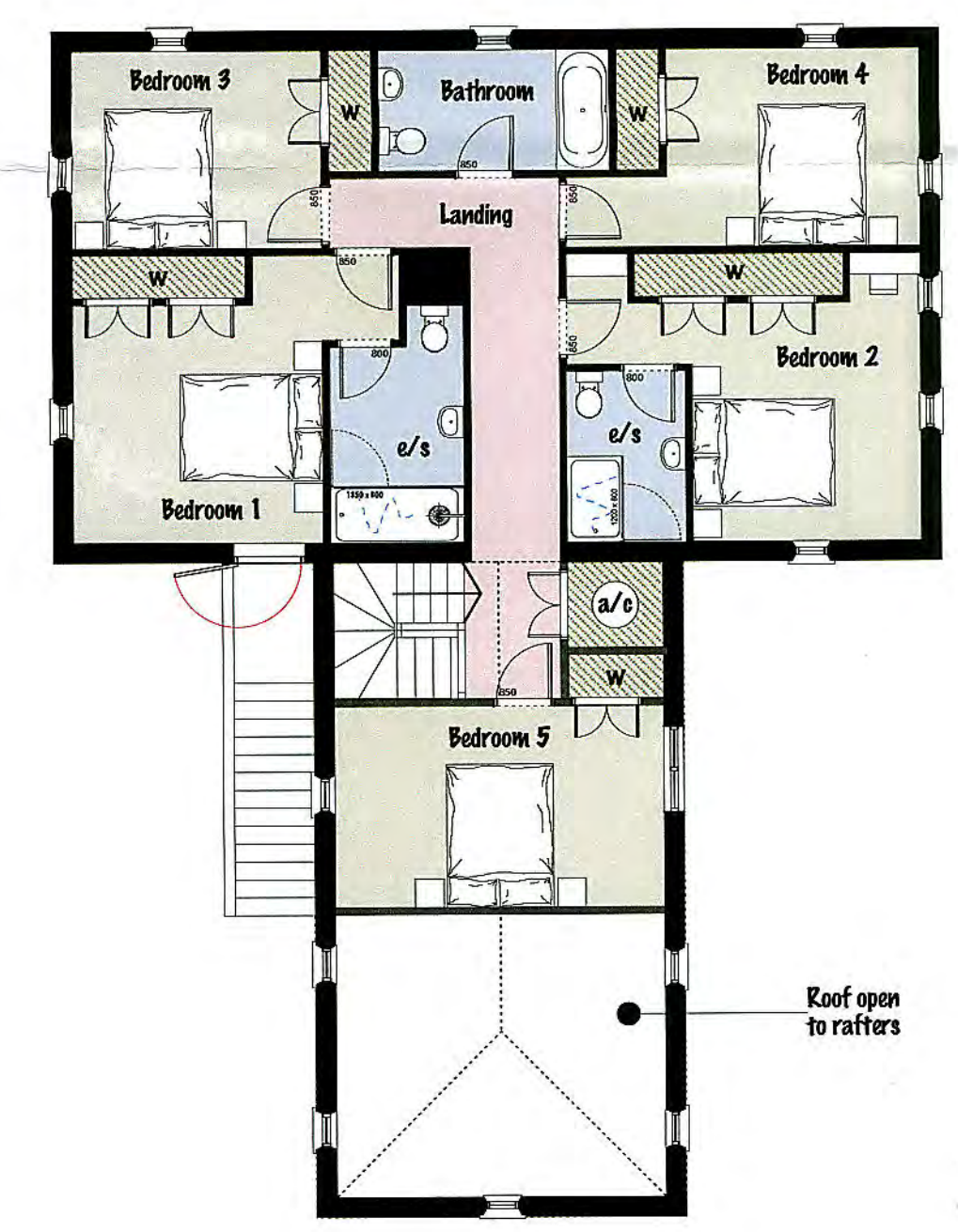
WEST ELEVATION



NORTH ELEVATION



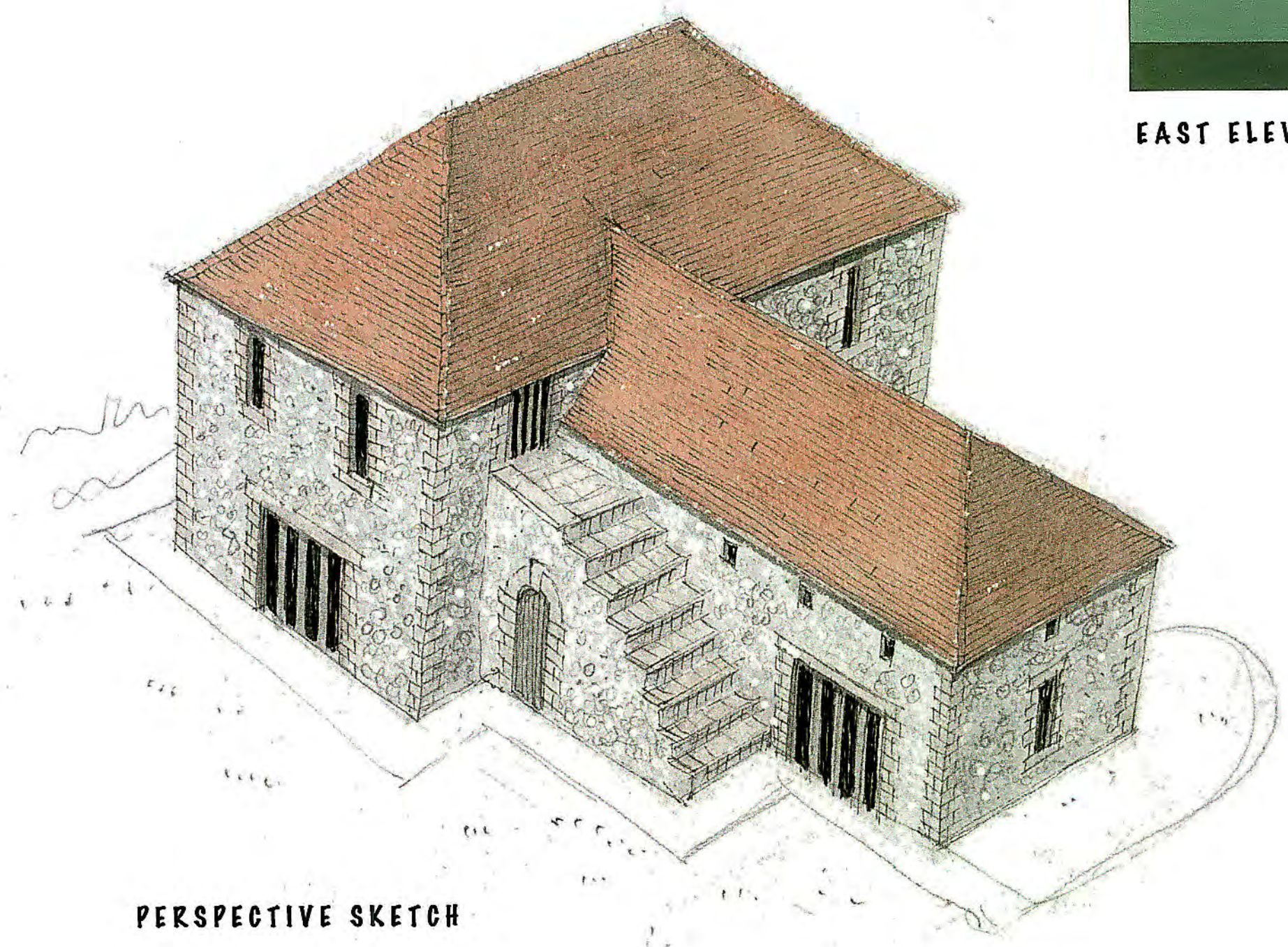
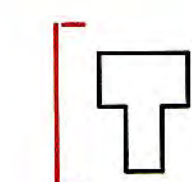
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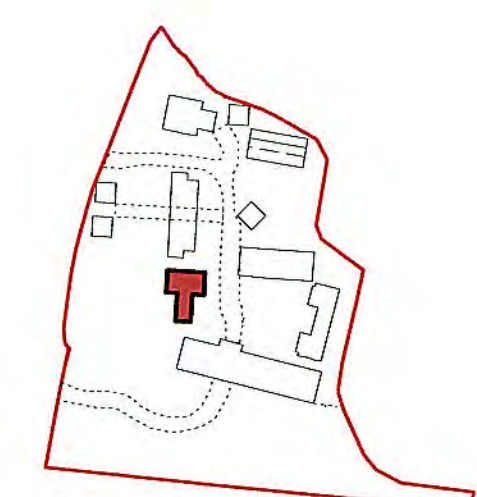
FIRST FLOOR PLAN



EAST ELEVATION



PERSPECTIVE SKETCH

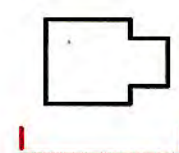


SITE KEY PLAN

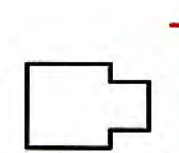
HOUSE 1



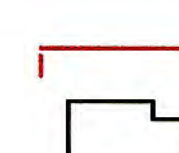
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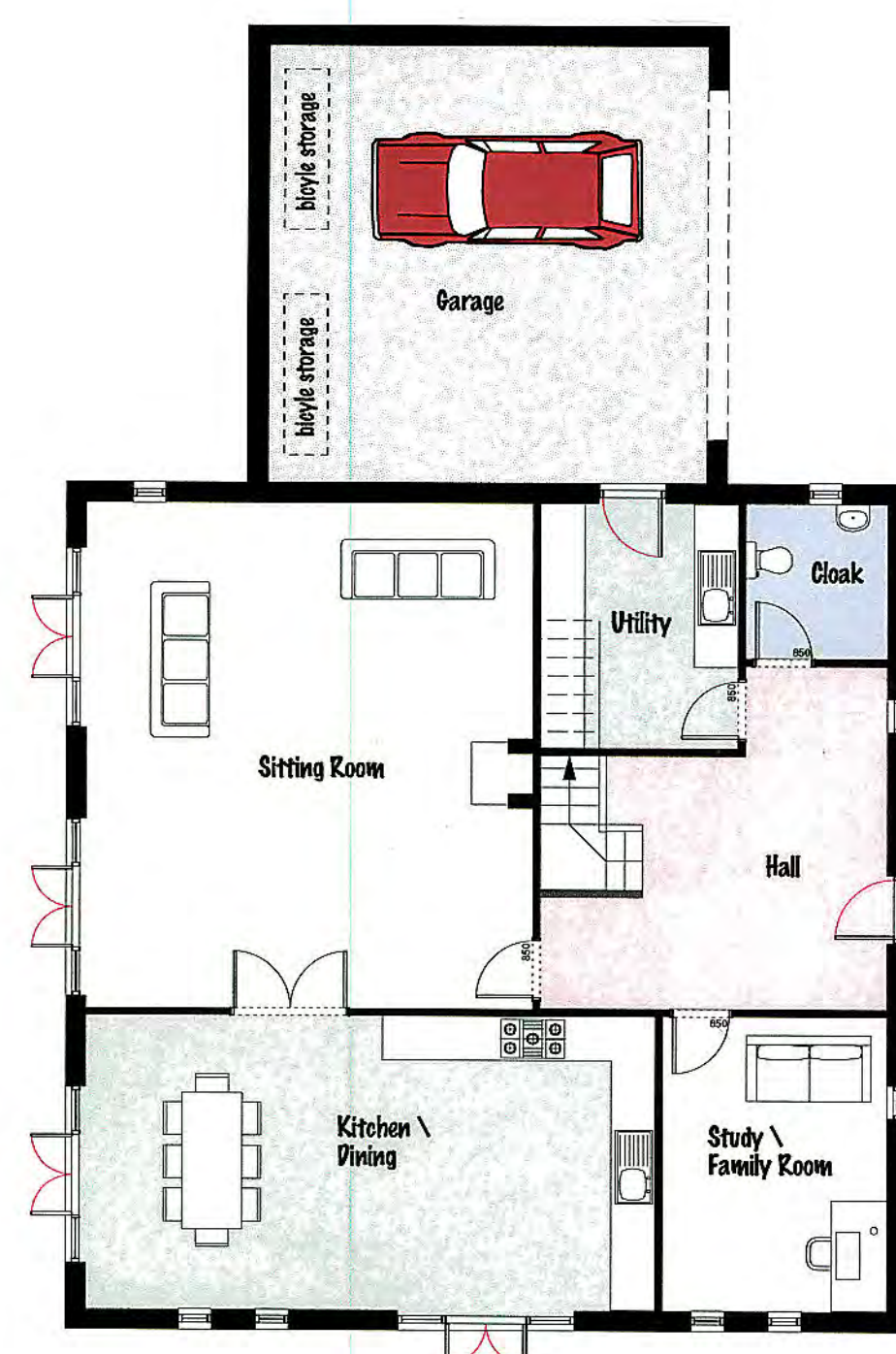
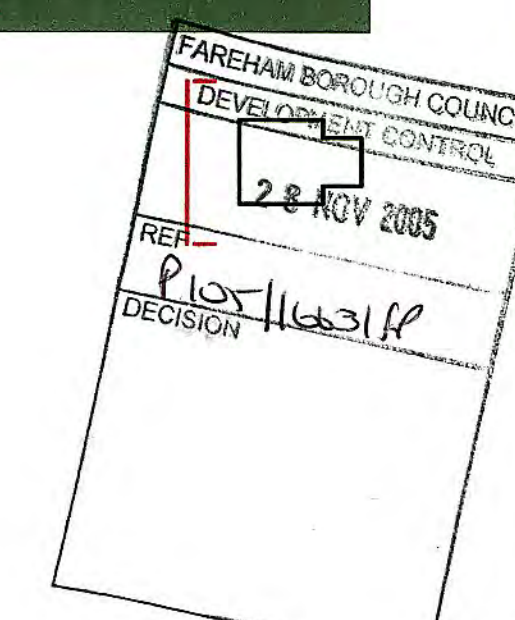
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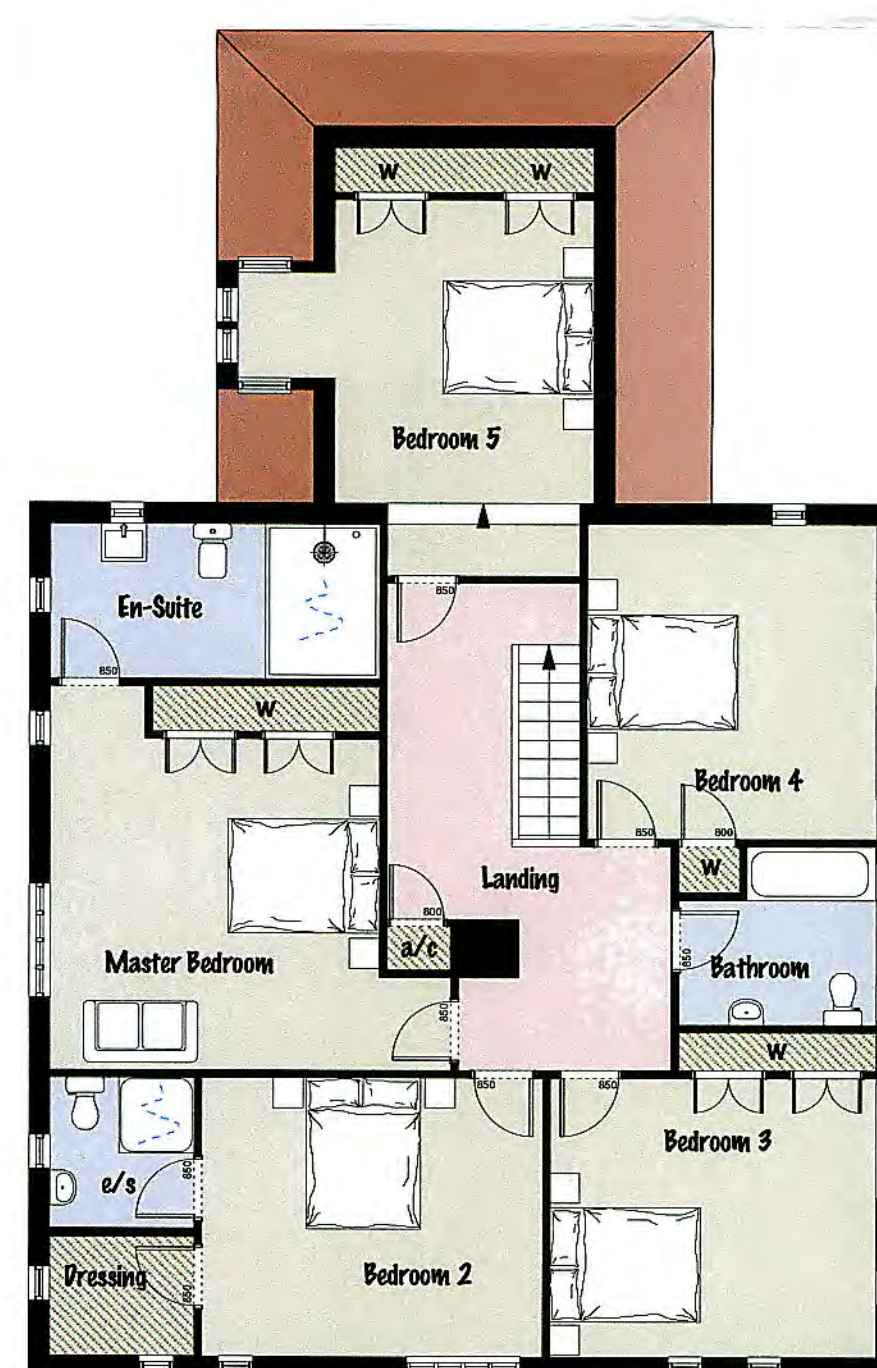
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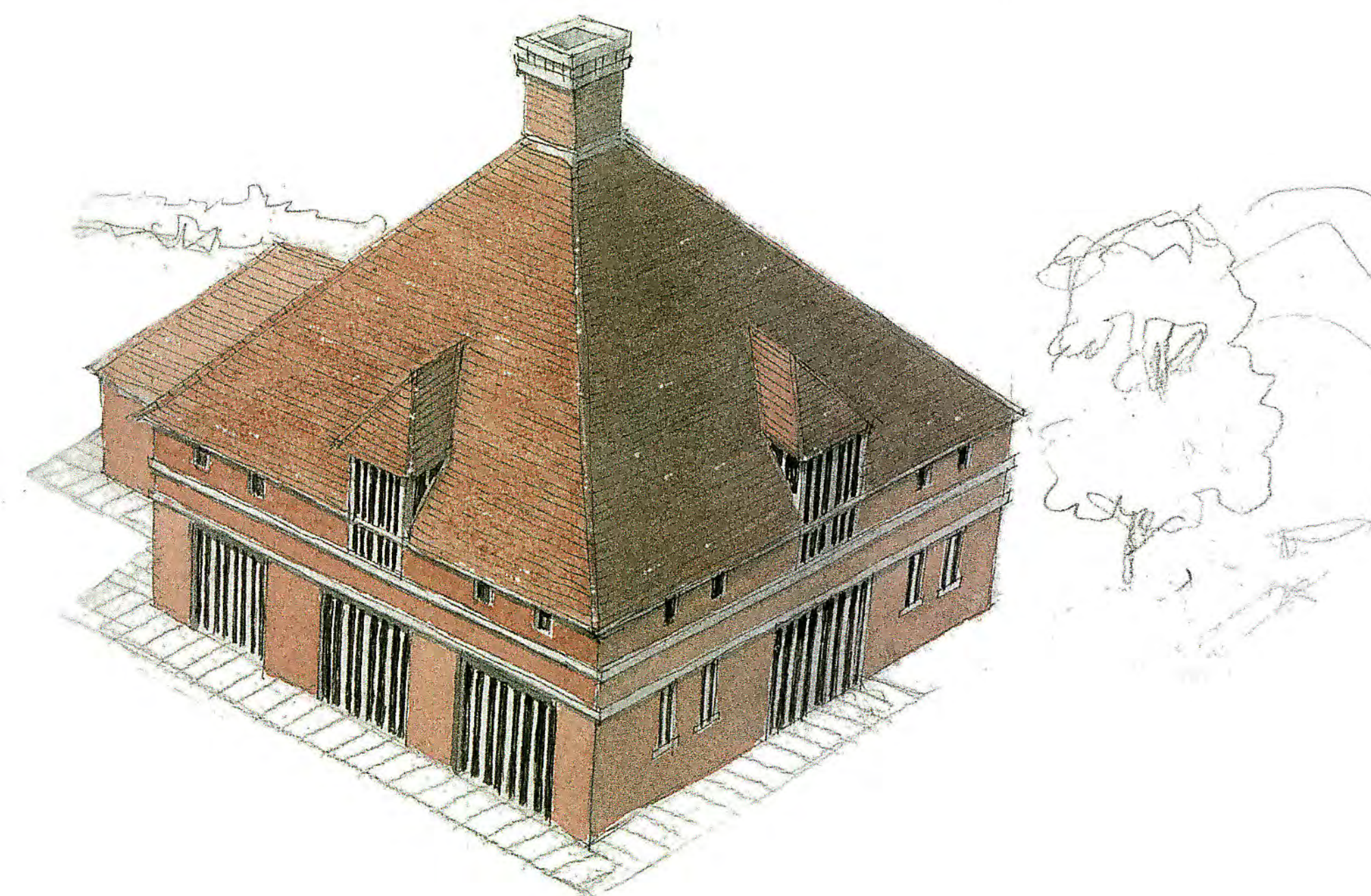
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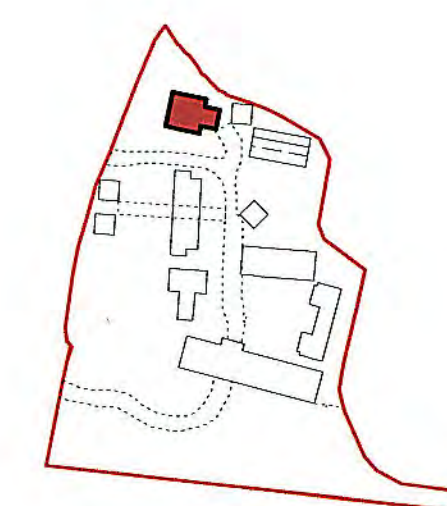
GROUND FLOOR PLAN



FIRST FLOOR PLAN



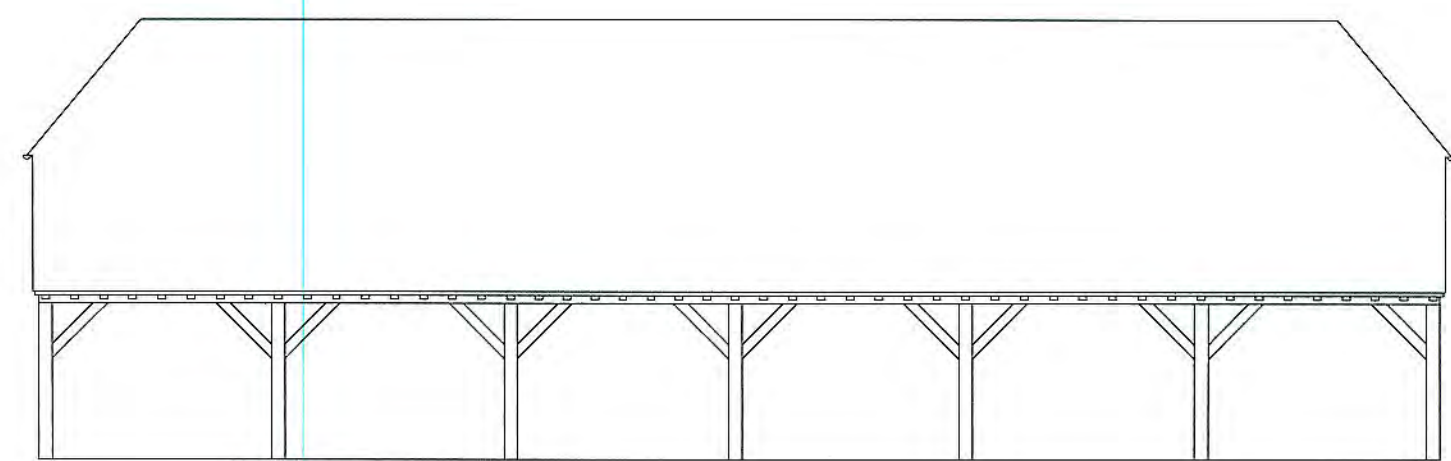
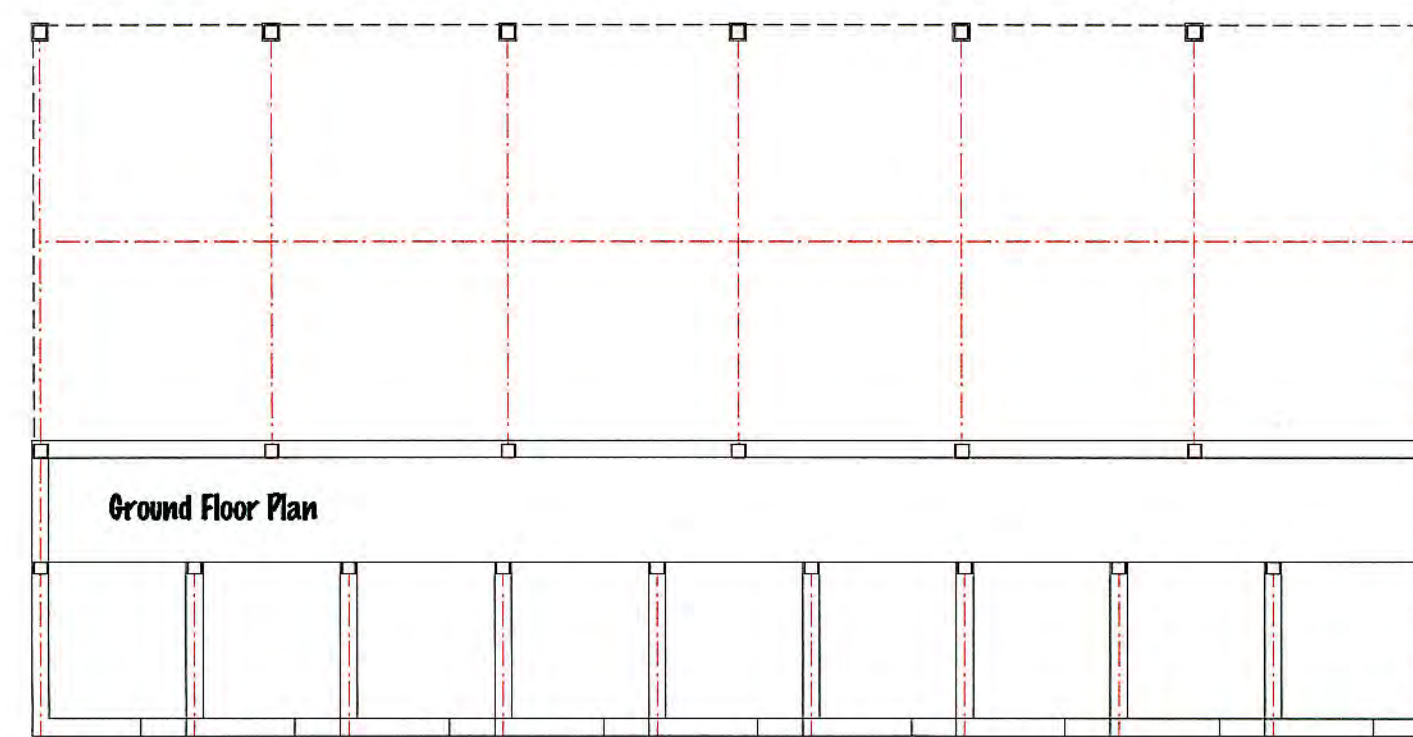
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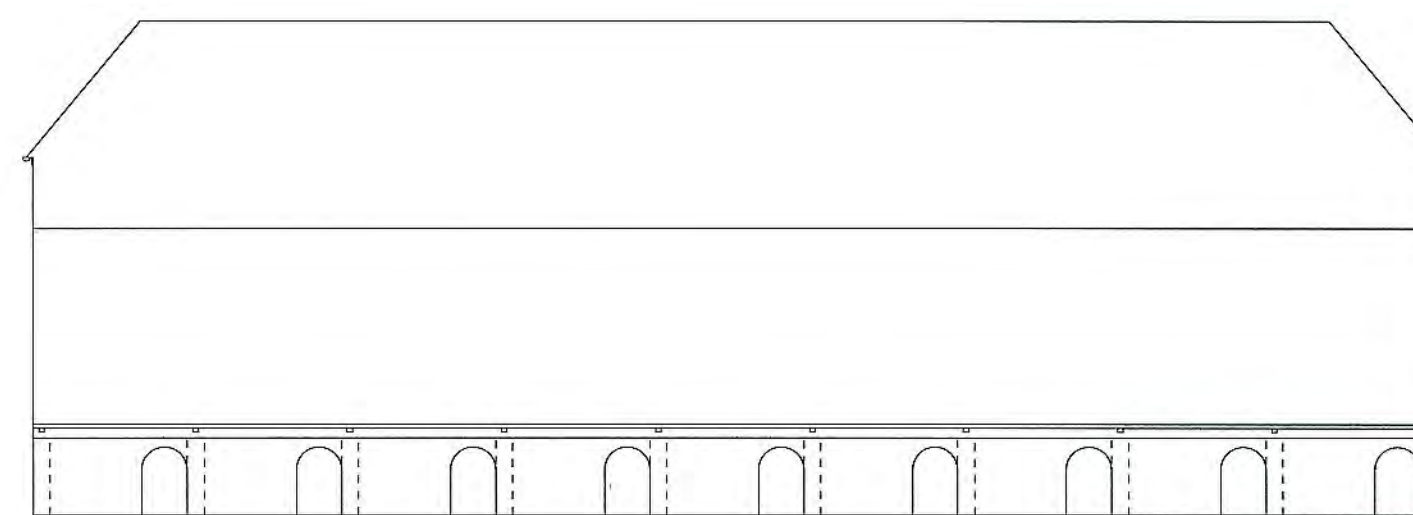
SITE KEY PLAN

HOUSE 4

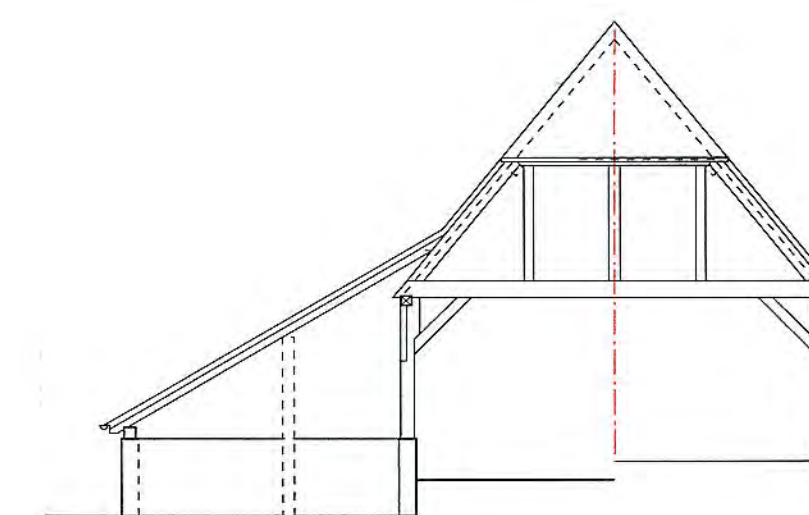
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JOB: POSBROOKE FARM, TITCHFIELD FAREHAM FOR: N H BRIERCLIFFE	
TITLE: HOUSE 4: PLANS AND ELEVATIONS	
SCALE: 1:100	DATE: OCT 2005
DRAWING NO: 1480/12	REV: A



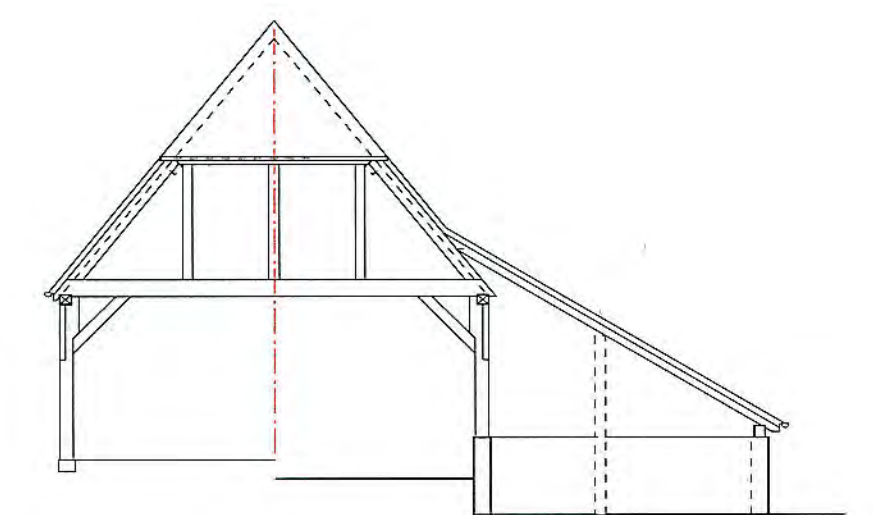
North Elevation



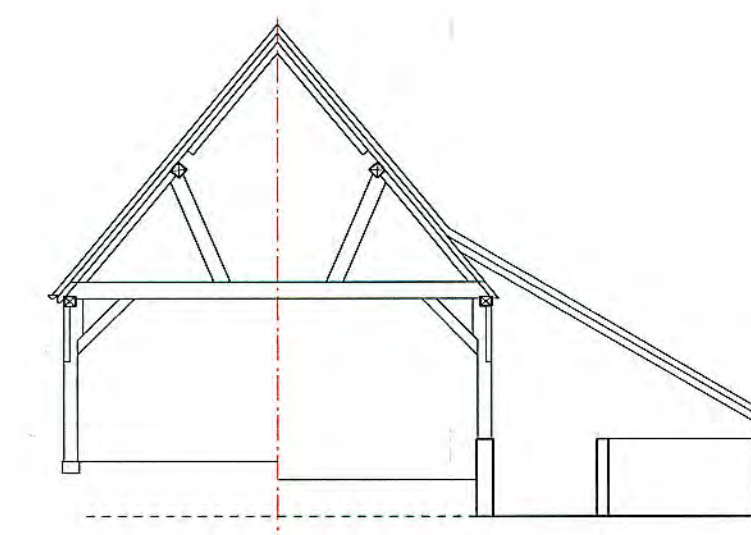
South Elevation



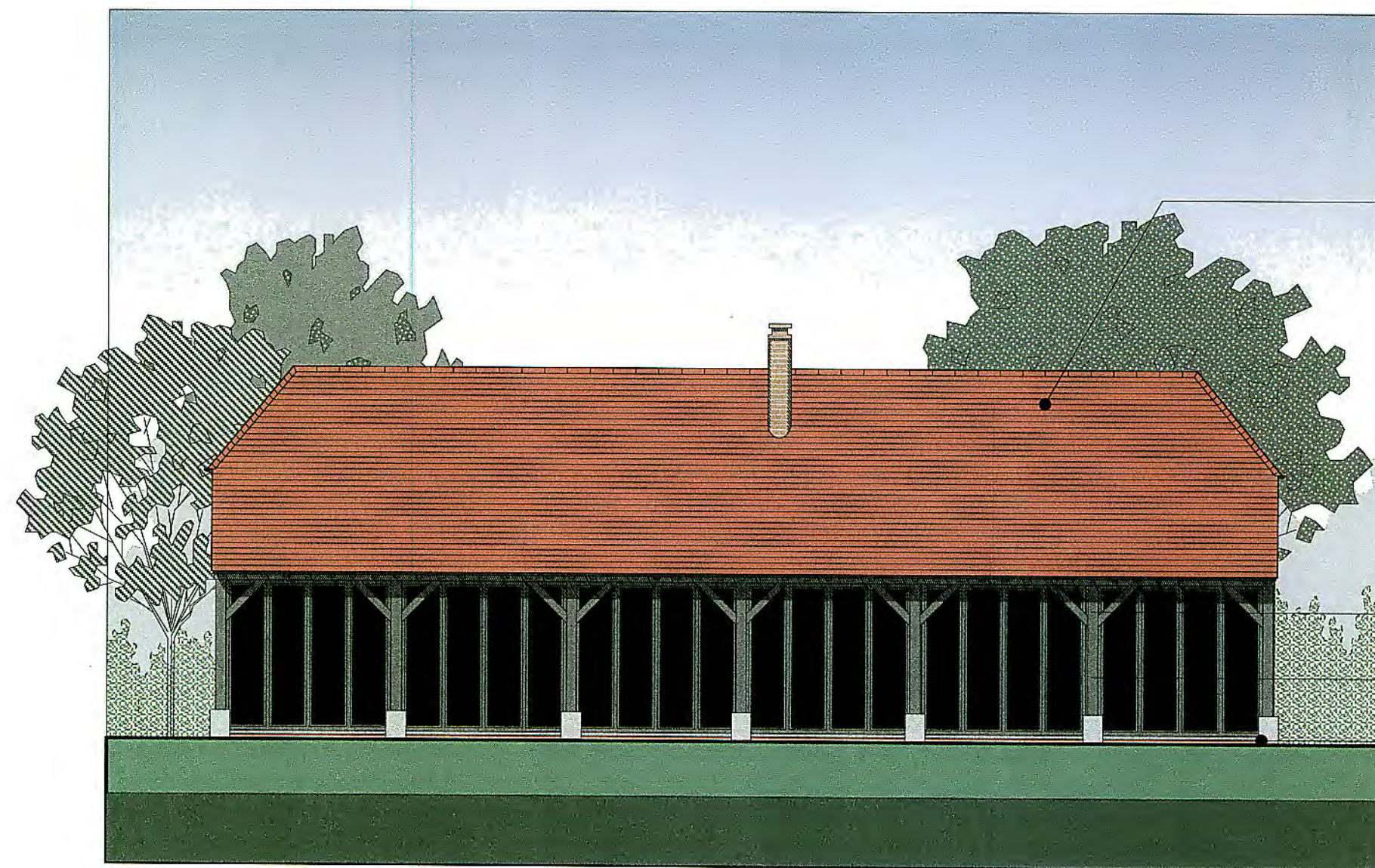
East Elevation



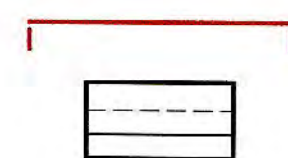
West Elevation



Section AA



NORTH ELEVATION

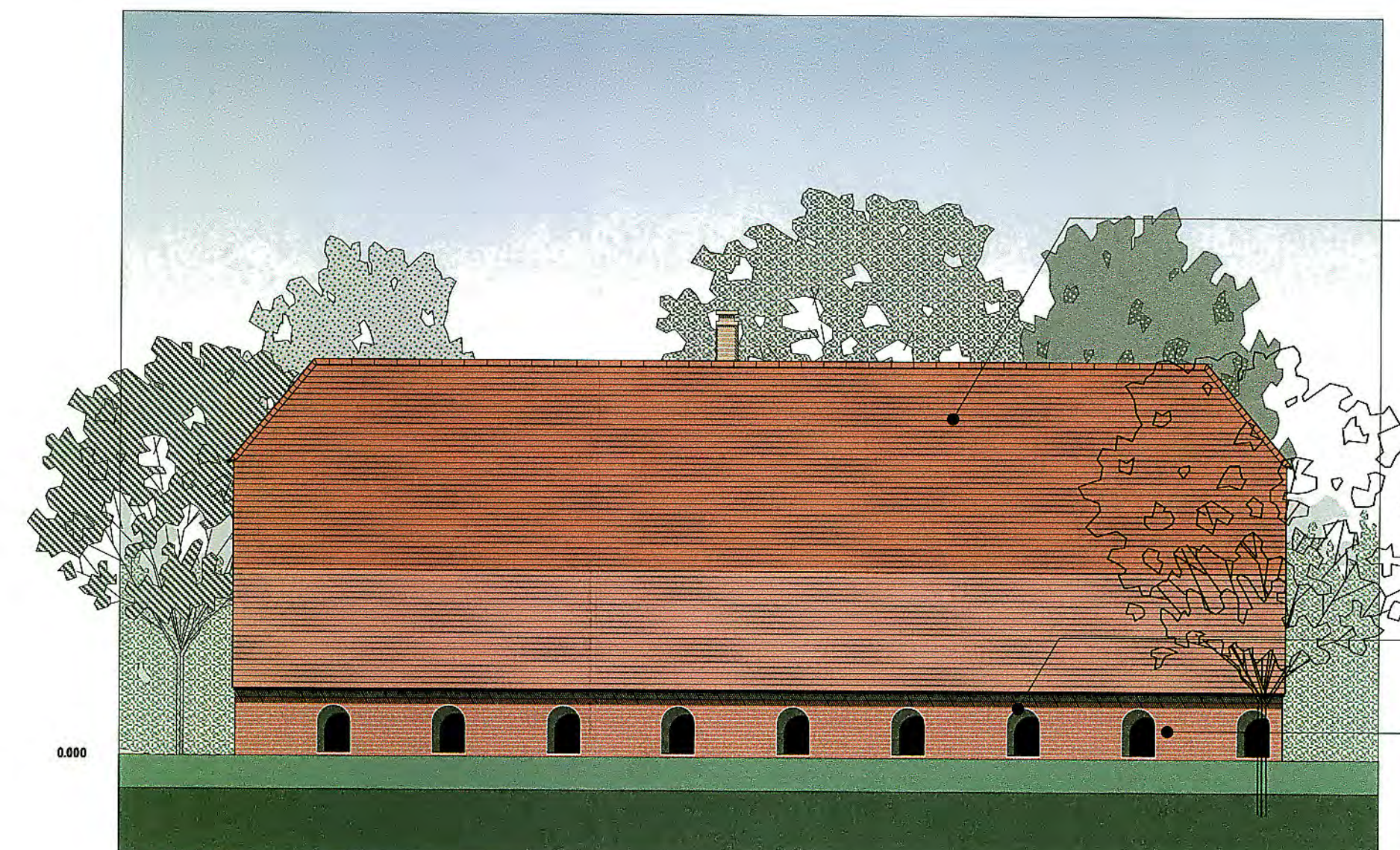
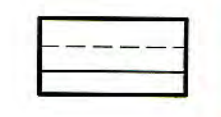


HANDMADE
CLAY TILES

GREY POWDER COATED
ALUMINIUM POOR AND
WINDOW FRAMES
EXISTING TIMBER
FRAME RESTORED
RED FACING
BRICK PLINTH



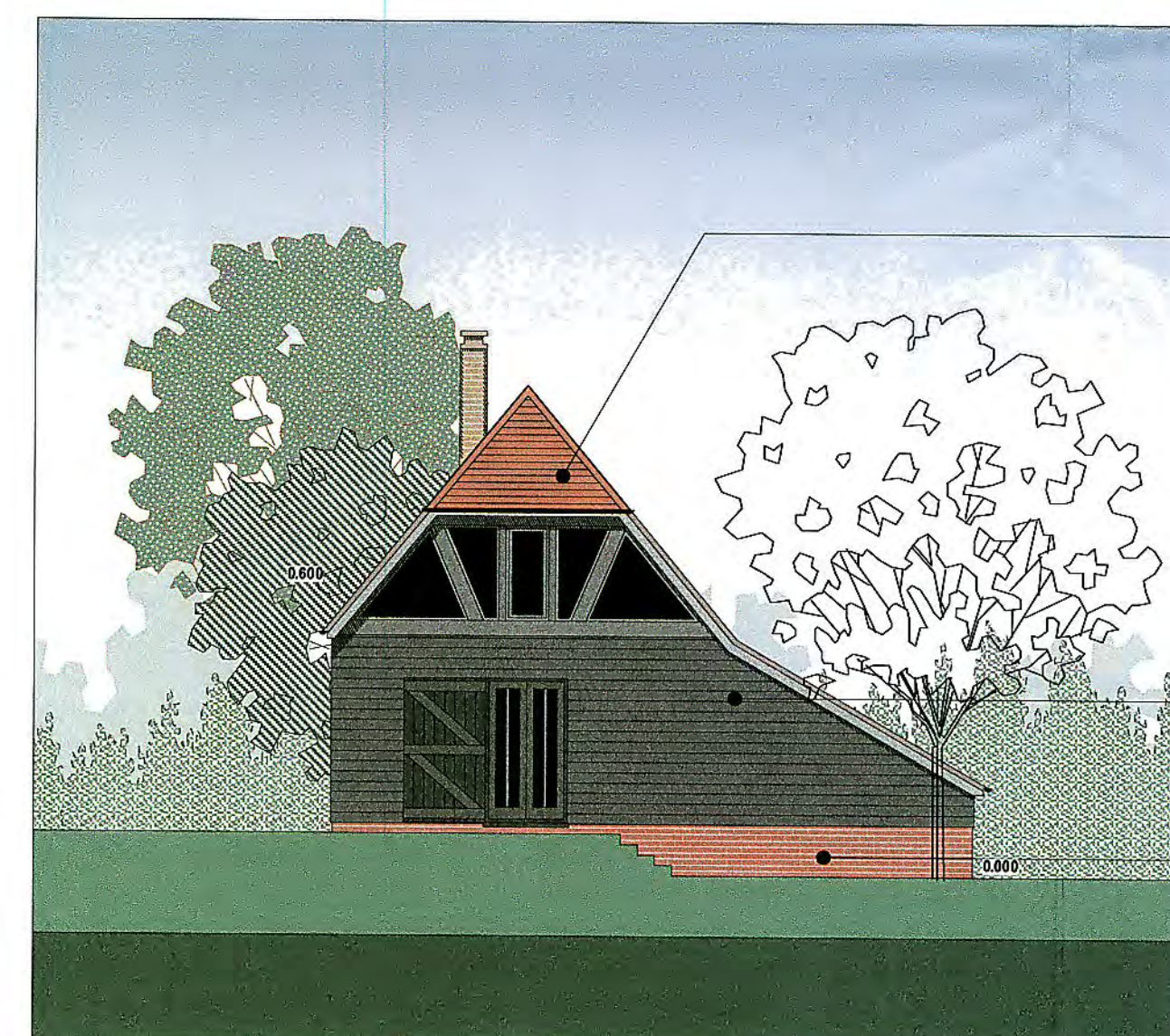
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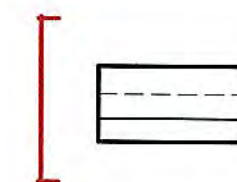
SOUTH ELEVATION

HANDMADE
CLAY TILES

GREY POWDER COATED
ALUMINIUM WINDOW
FRAMES
RED FACING
BRICK PLINTH



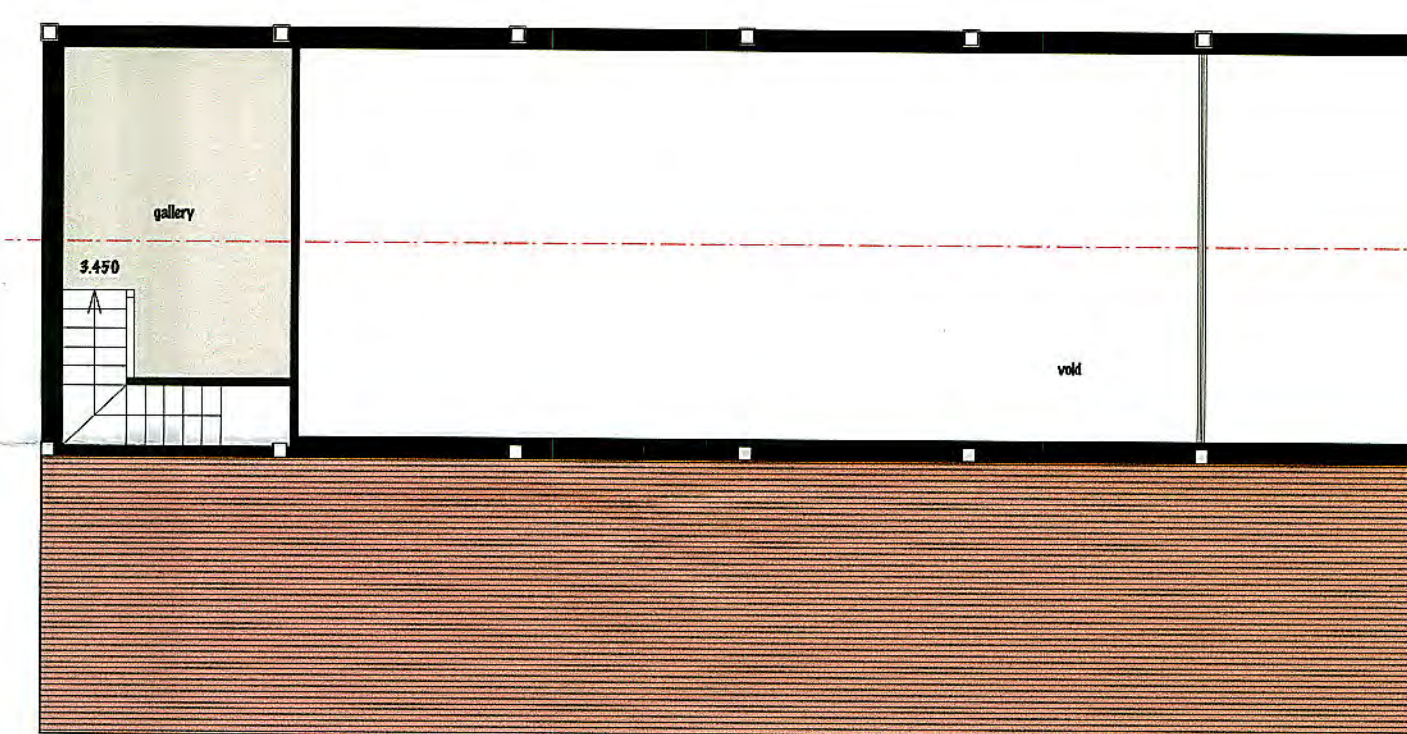
WEST ELEVATION



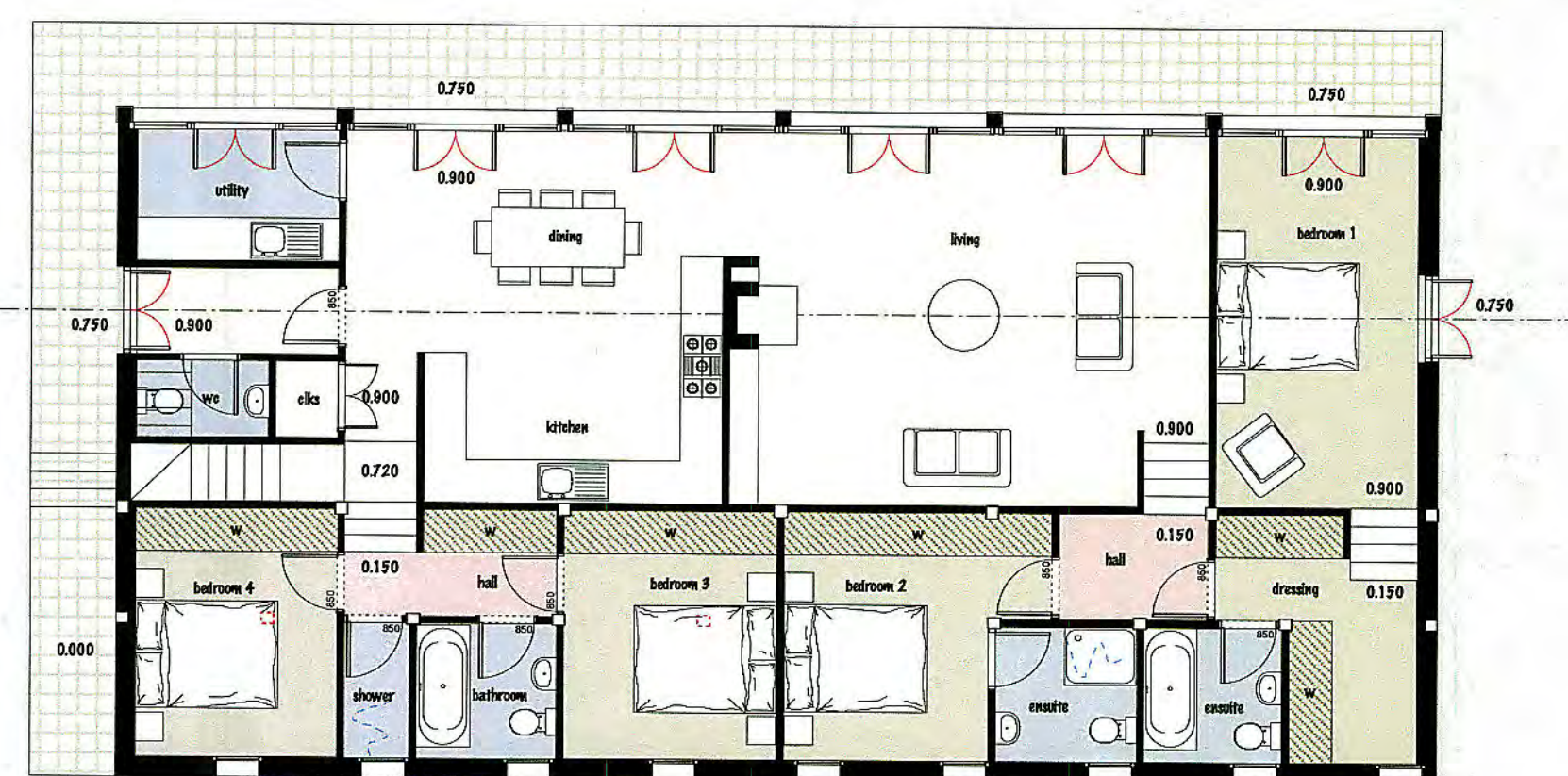
HANDMADE
CLAY TILES

BLACK
WEATHER BOARDING

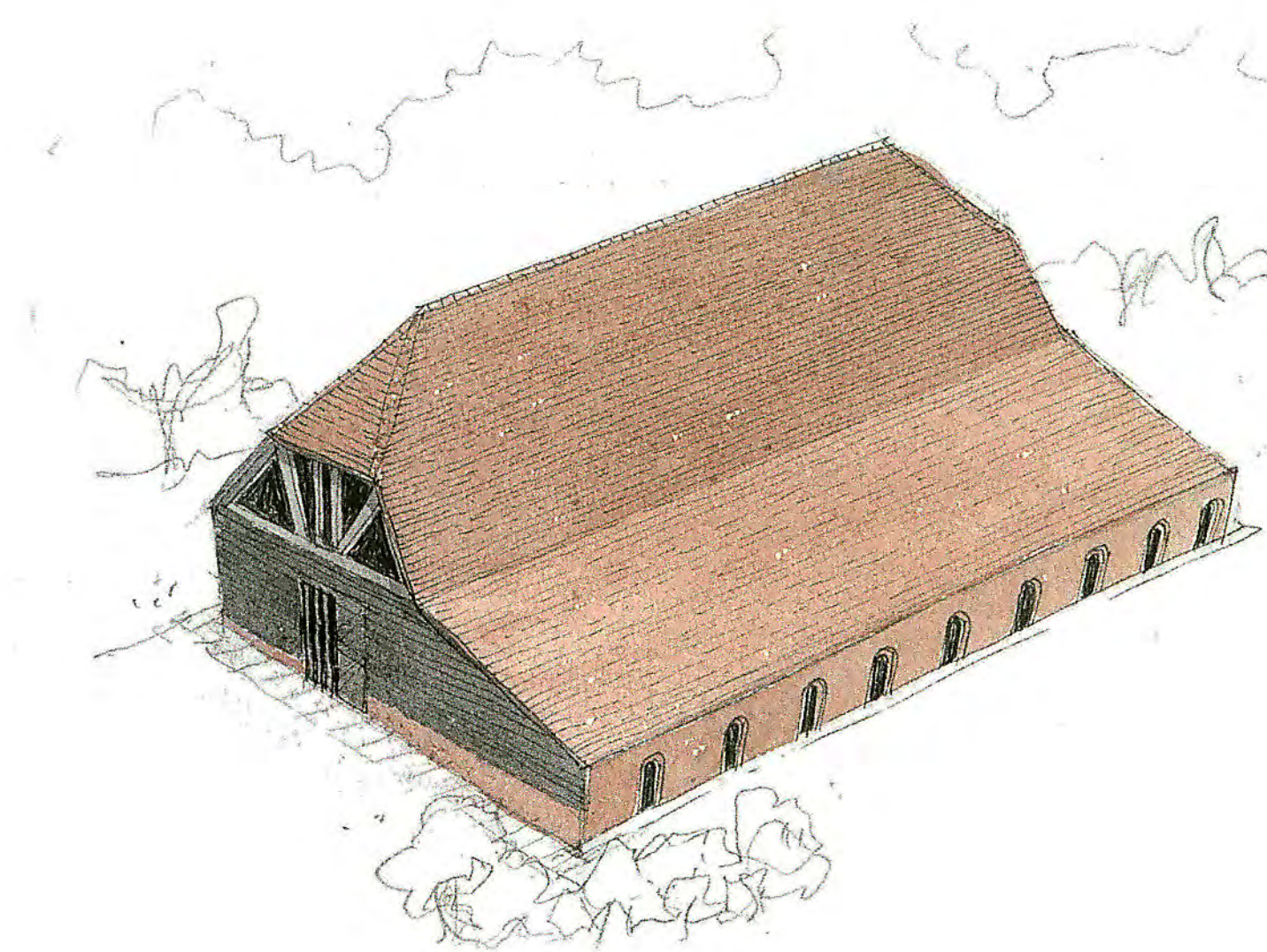
RED FACING
BRICK PLINTH



FIRST FLOOR PLAN



GROUND FLOOR PLAN



PERSPECTIVE SKETCH



SITE KEY PLAN

REVISION A: 26/10/05 Planning Application	
JOB: POSBROOKE FARM, TITCHFIELD FAREHAM FOR: N H BRIERCLIFFE	
TITLE: HOUSE 5: PLANS AND ELEVATIONS	
SCALE: 1:100	DATE: OCT 2005
DRAWING NO: 1480/13	REV: A

HOUSE 5

HANDMADE
CLAY TILES

STAINED
TIMBER WINDOWS

RED FACING BRICK



SOUTH ELEVATION

HANDMADE
CLAY TILES

RED FACING BRICK

STAINED
TIMBER WINDOWS

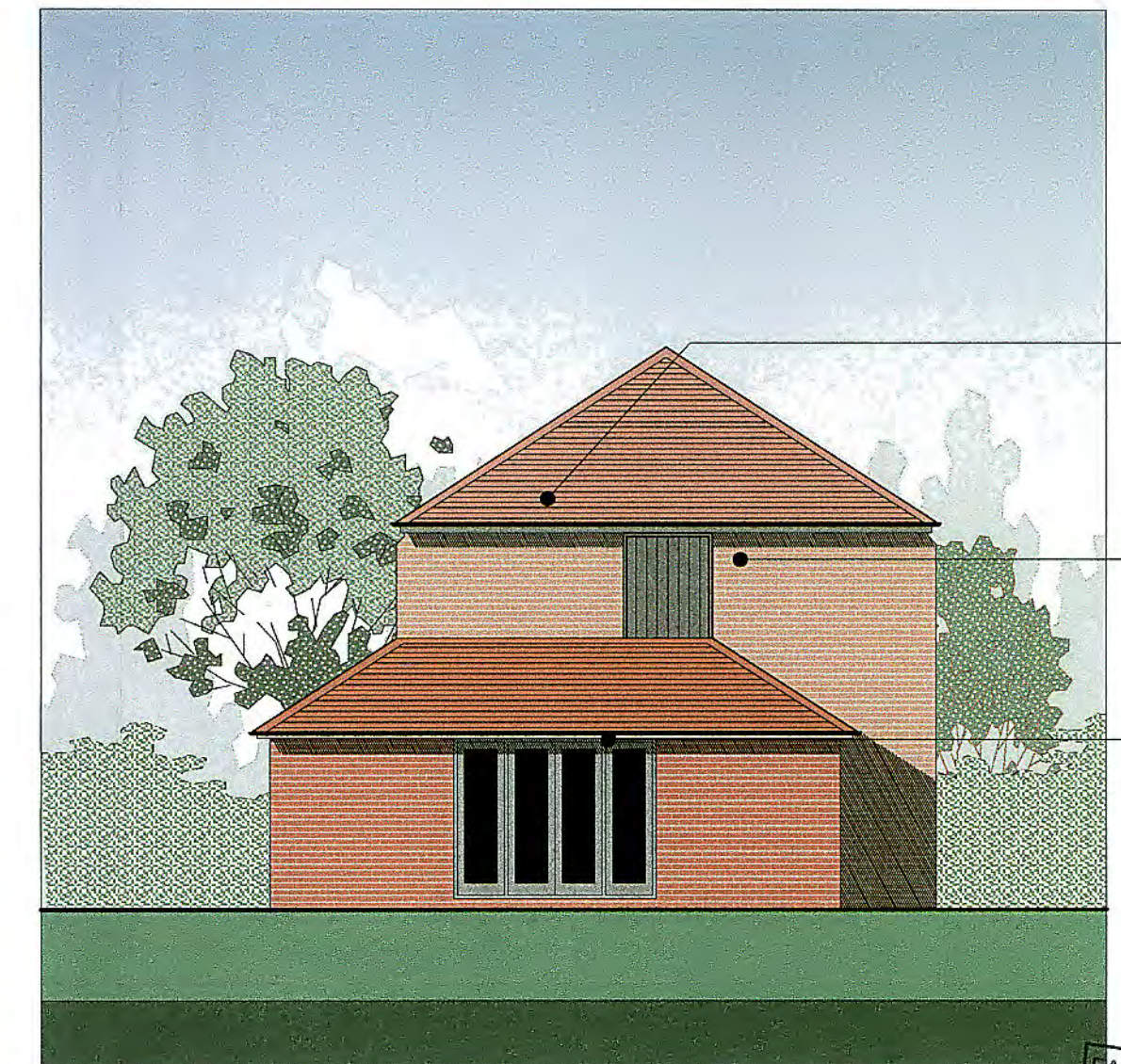


EAST ELEVATION

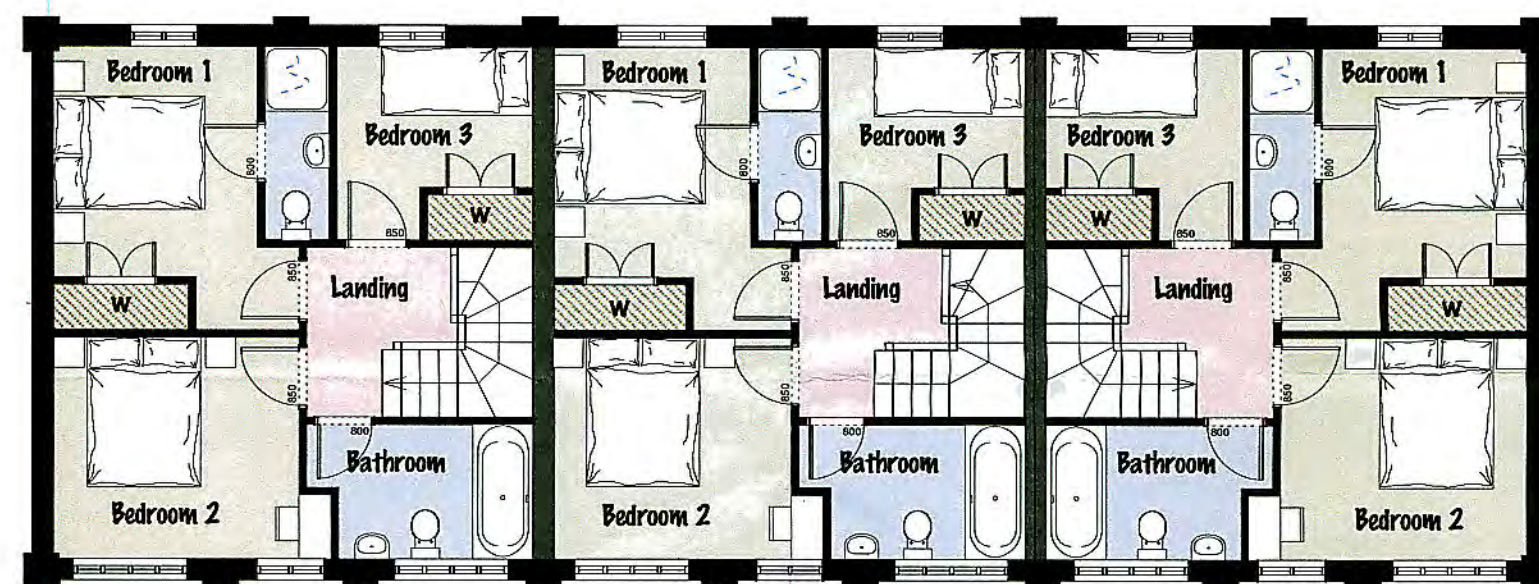
HANDMADE
CLAY TILES

RED FACING BRICK

STAINED
TIMBER WINDOWS



WEST ELEVATION



FIRST FLOOR PLAN

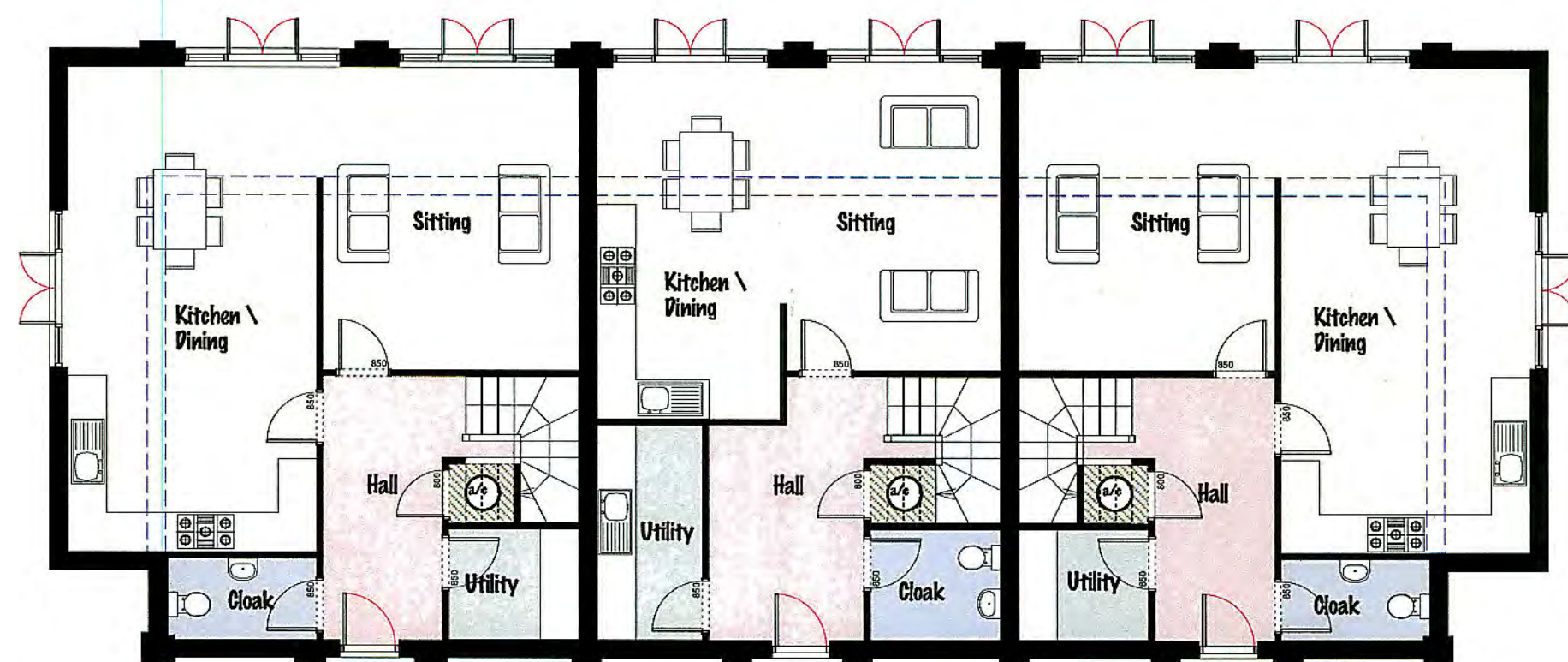
HANDMADE
CLAY TILES

STAINED
TIMBER WINDOWS

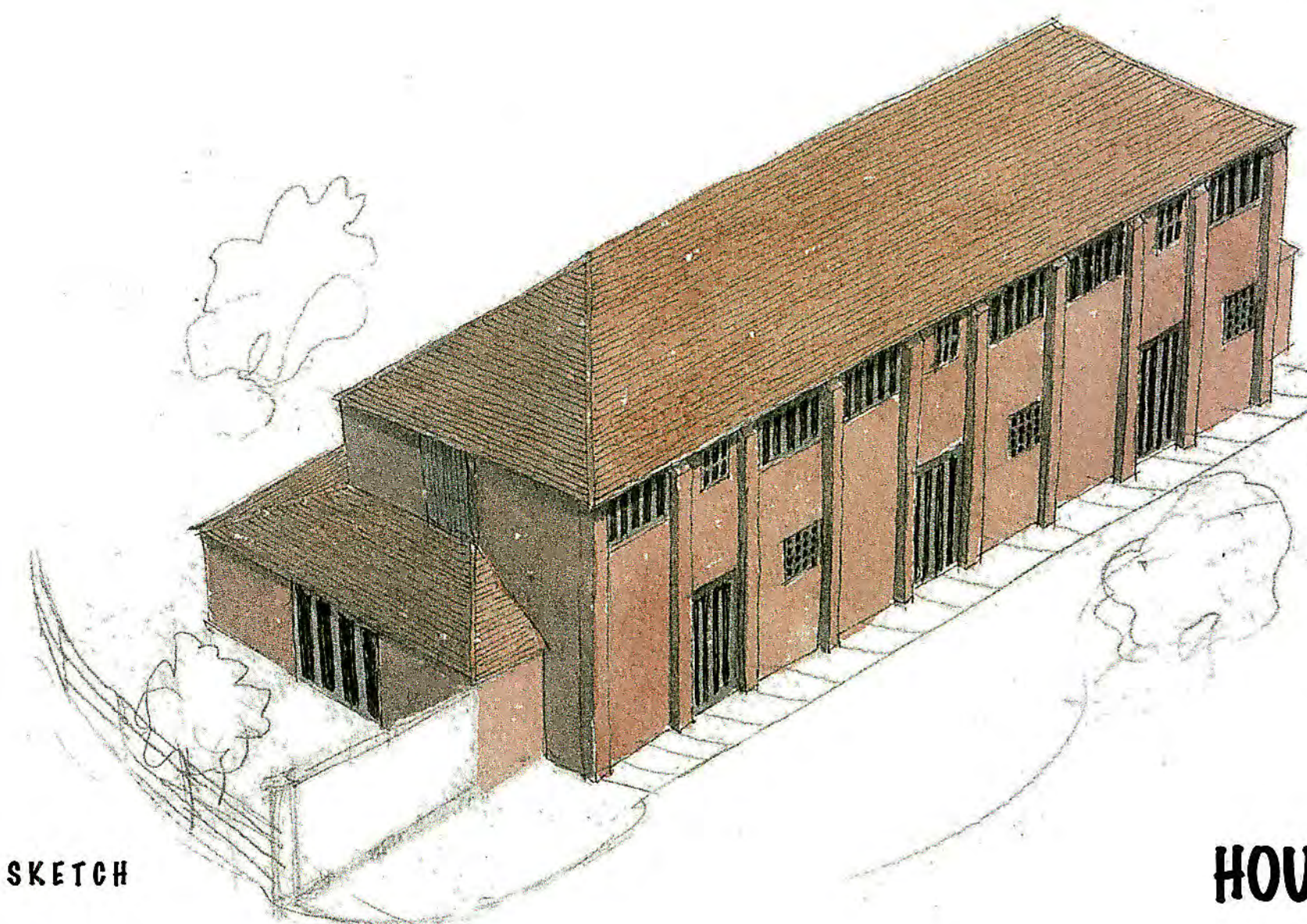
RED FACING BRICK



NORTH ELEVATION



GROUND FLOOR PLAN



PERSPECTIVE SKETCH



SITE KEY PLAN

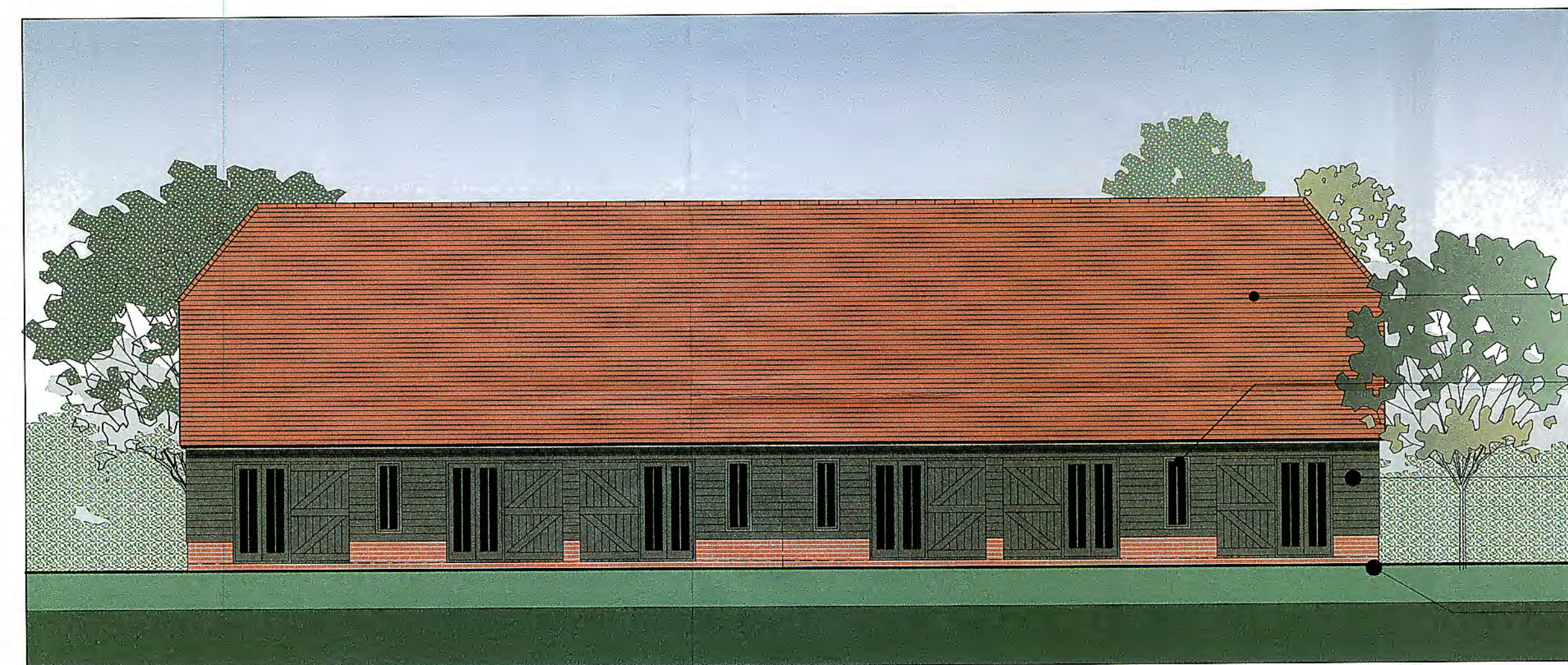
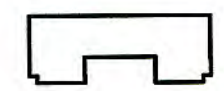
HOUSES 6, 7, & 8



WEST ELEVATION

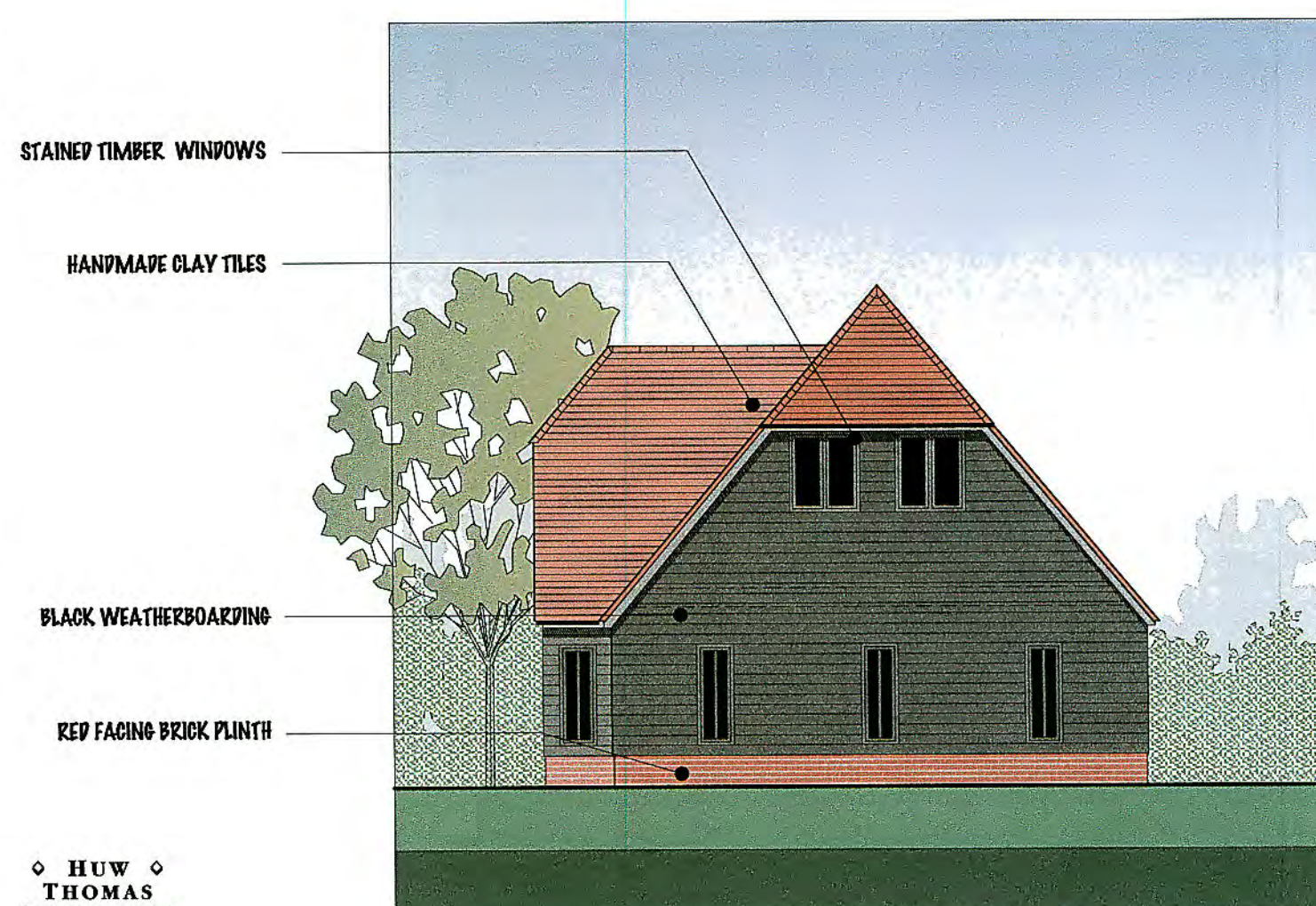
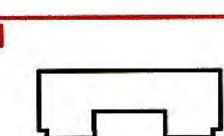
HANDMADE CLAY TILES
STAINED TIMBER WINDOWS
BLACK WEATHERBOARDING

KEY FACING BRICK PLINTH



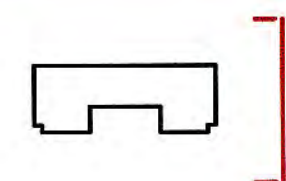
EAST ELEVATION

HANDMADE CLAY TILES
STAINED TIMBER WINDOWS
BLACK WEATHERBOARDING
KEY FACING BRICK PLINTH

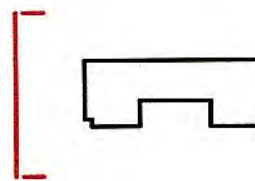


SOUTH ELEVATION

STAINED TIMBER WINDOWS
HANDMADE CLAY TILES
BLACK WEATHERBOARDING
KEY FACING BRICK PLINTH



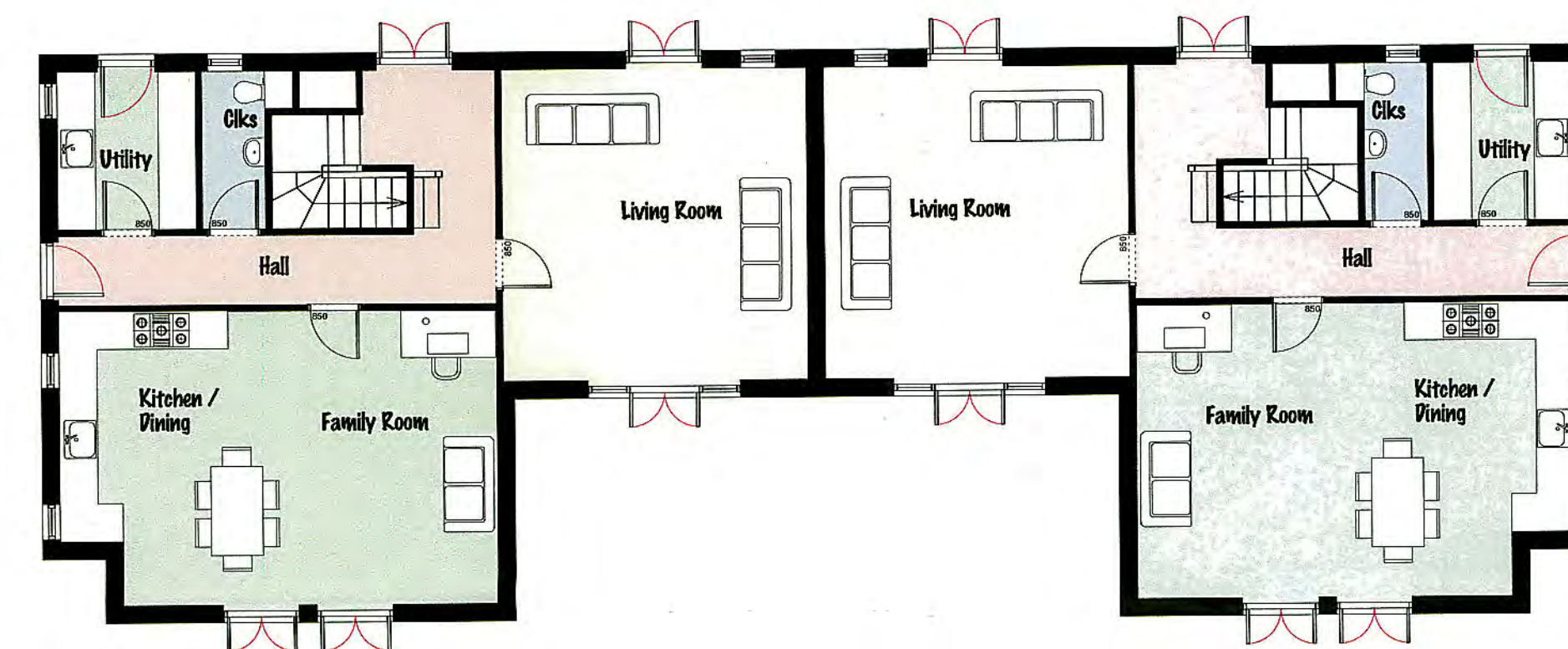
NORTH ELEVATION



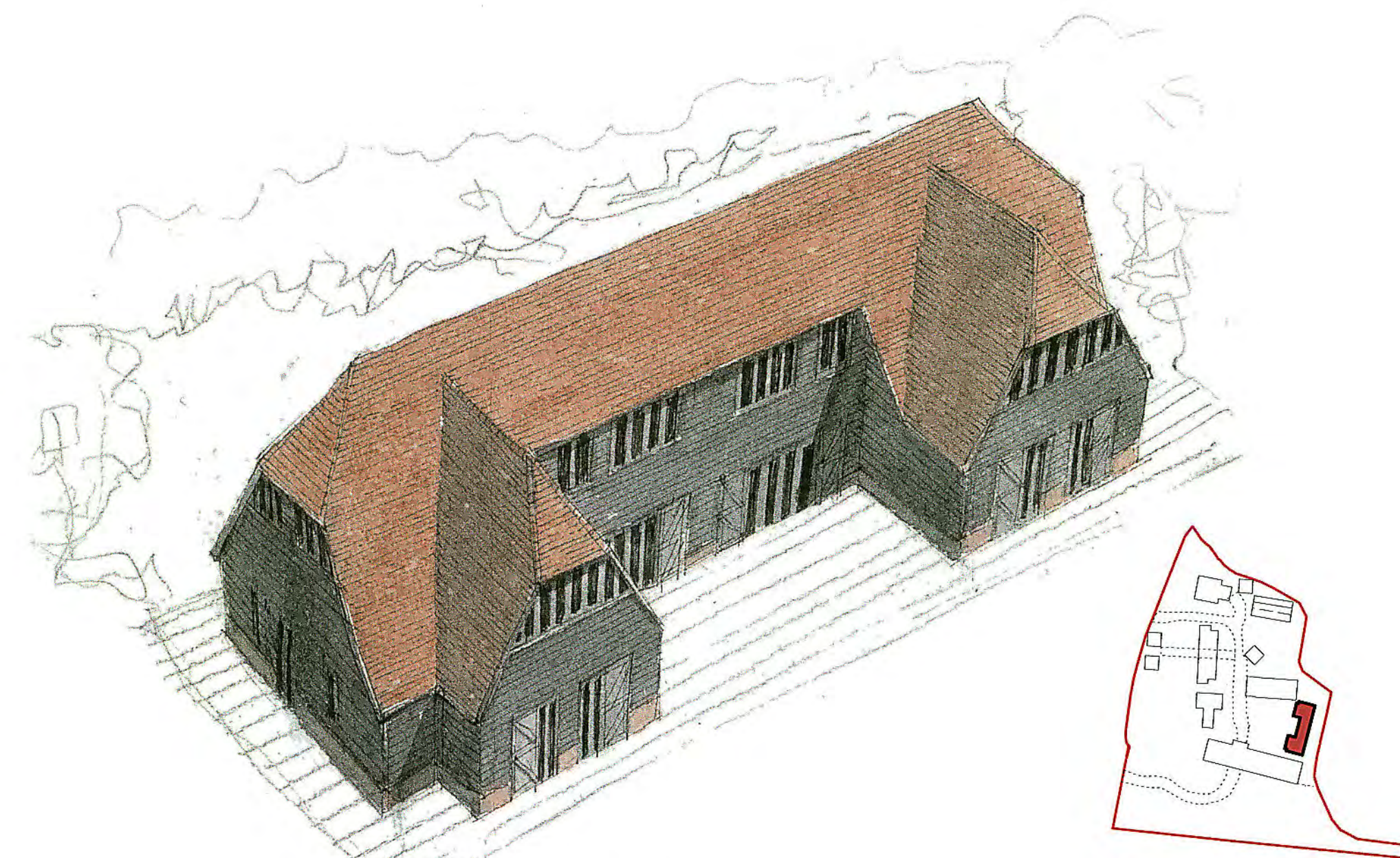
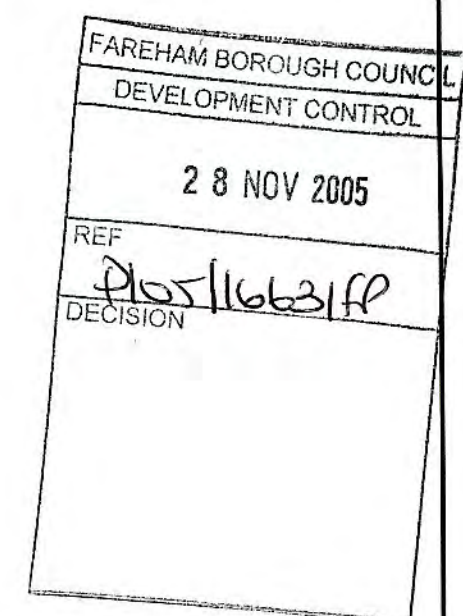
COURTYARD ELEVATION (NORTH)



FIRST FLOOR PLAN



GROUND FLOOR PLAN



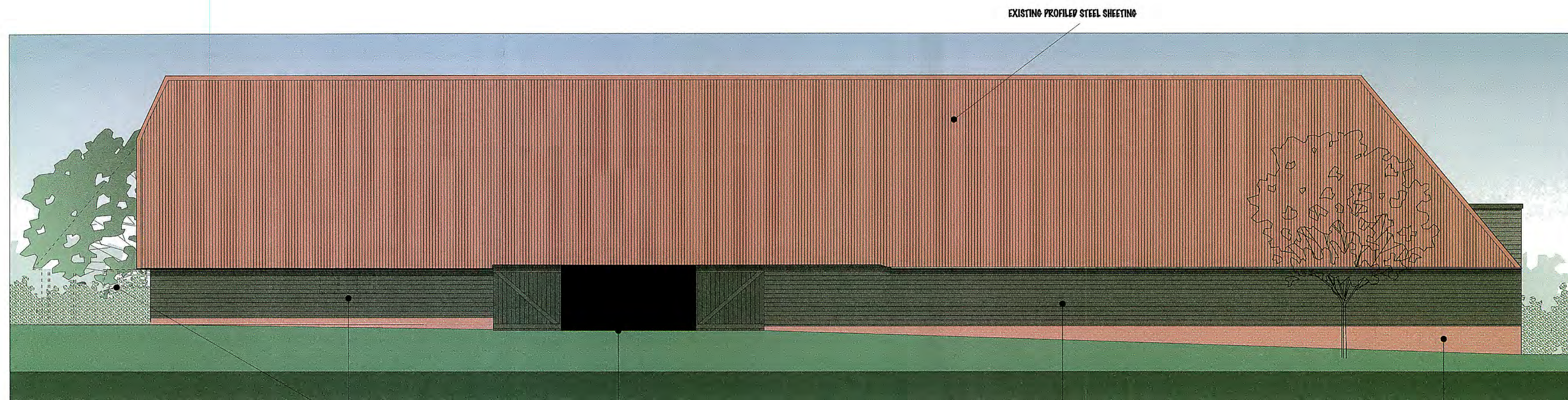
PERSPECTIVE SKETCH



SITE KEY PLAN

HOUSES 9 & 10

REVISION A: 28/10/05 Planning Application	
JOB: POSBROOKE FARM, TITCHFIELD FAREHAM FOR: N H BRIERCLIFFE	
TITLE: HOUSES 10 & 11: PLANS AND ELEVATIONS	
SCALE: 1:100	DATE: OCT 2005
DRAWING NO: 1480/15	REV: A



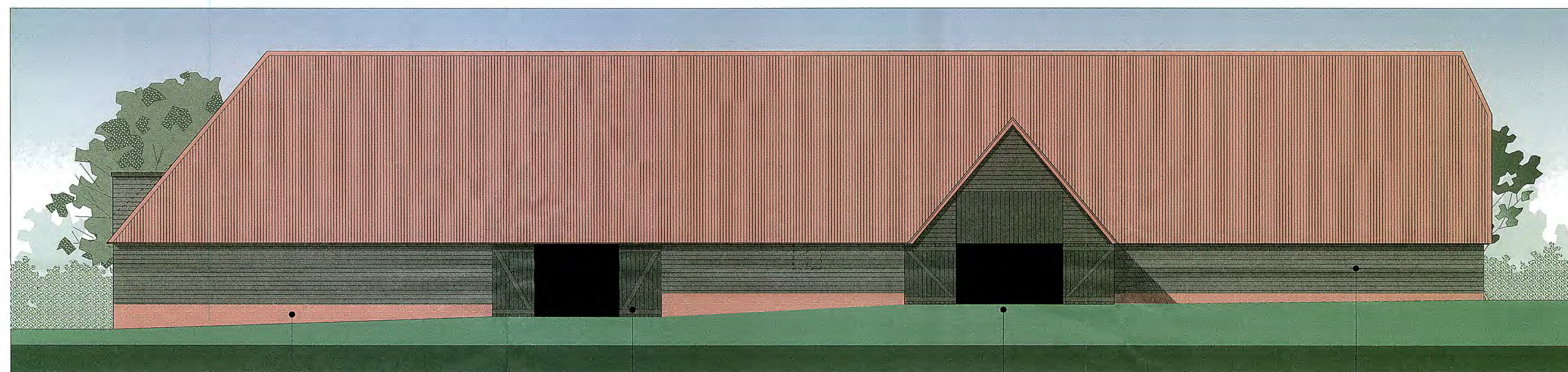
SOUTH ELEVATION

REMOVE 20TH CENTURY CONCRETE BLOCK WALLS AND REPLACE WITH OAK STUPEWORK TO MATCH EXISTING SCANTLINGS WITH WEATHERBOARDING ON NEW WALL PLATE ON GAGING BRICK PLINTH

RESTORED OPENING

20TH CENTURY CONCRETE BLOCK WALL TO BE DEMOLISHED AND REPLACED WITH OAK STUPEWORK TO MATCH EXISTING SCANTLINGS WITH WEATHERBOARDING ON NEW WALL PLATE ON GAGING BRICK PLINTH

NEW GAGING BRICK PLINTH



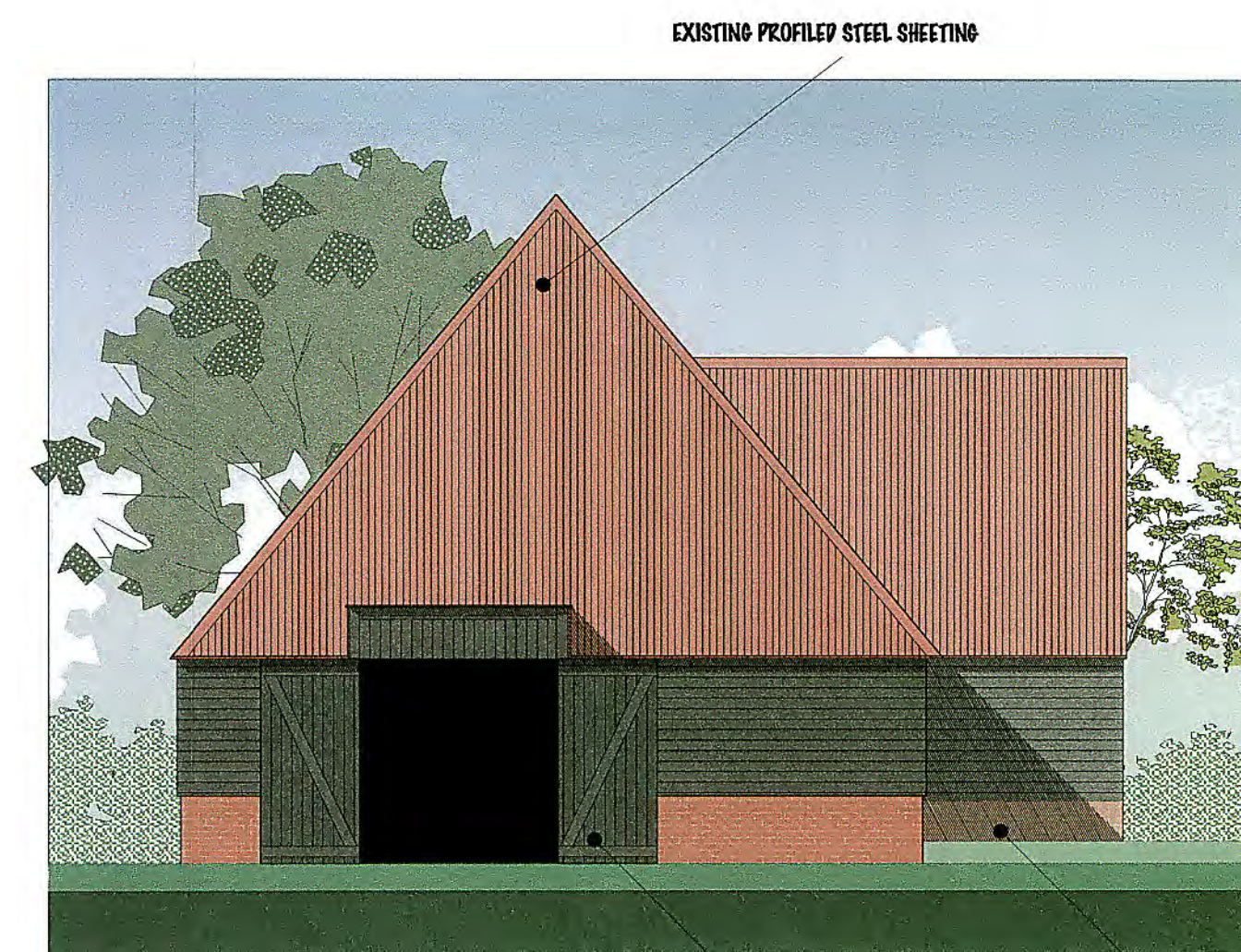
NORTH ELEVATION

20TH CENTURY CONCRETE BLOCK WALL TO BE DEMOLISHED AND REPLACED WITH OAK STUPEWORK TO MATCH EXISTING SCANTLINGS WITH WEATHERBOARDING ON NEW WALL PLATE ON GAGING BRICK PLINTH

NEW DOORS

WOODEN DOORS CONVERTED TO STABLE DOORS BOTTOM HALF FIXED OPEN

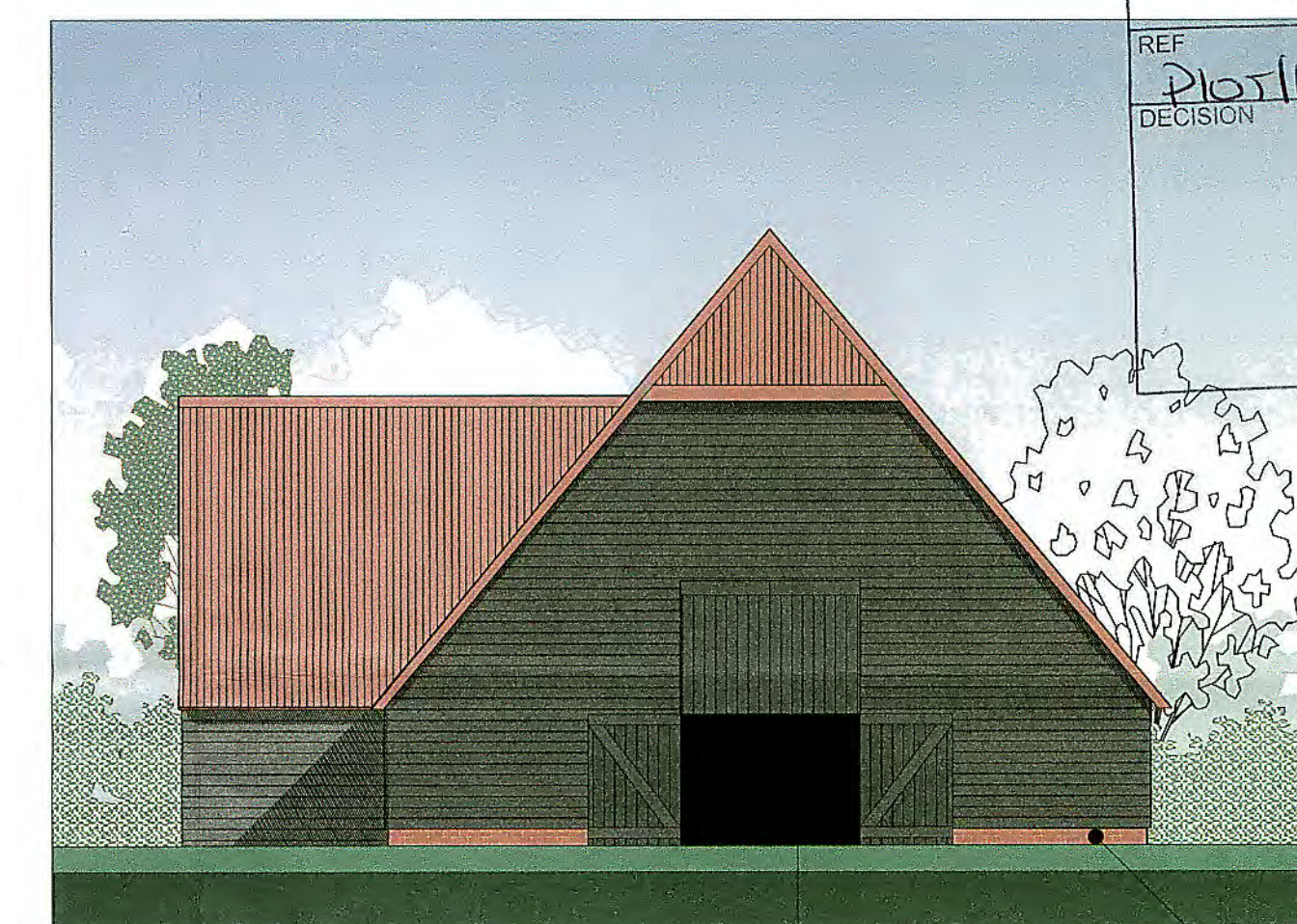
20TH CENTURY CONCRETE BLOCK WALL TO BE DEMOLISHED AND REPLACED WITH OAK STUPEWORK TO MATCH EXISTING SCANTLINGS WITH WEATHERBOARDING ON NEW WALL PLATE ON GAGING BRICK PLINTH



EAST ELEVATION

WOODEN DOORS CONVERTED TO STABLE DOORS BOTTOM HALF FIXED OPEN

NEW BRICK PLINTH

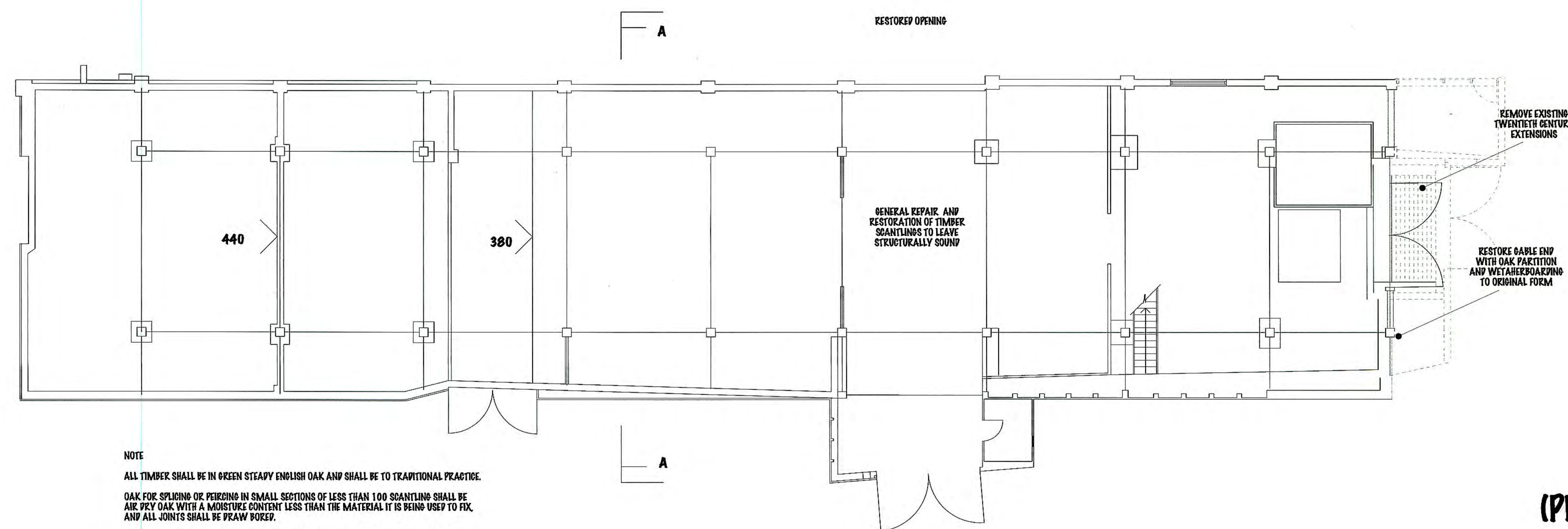


EAST ELEVATION

WOODEN DOORS CONVERTED TO STABLE DOORS BOTTOM HALF FIXED OPEN

NEW BRICK PLINTH

FAREHAM BOROUGH COUNCIL DEVELOPMENT CONTROL	
28 NOV 2005	
REF	Plot 11631F
DECISION	

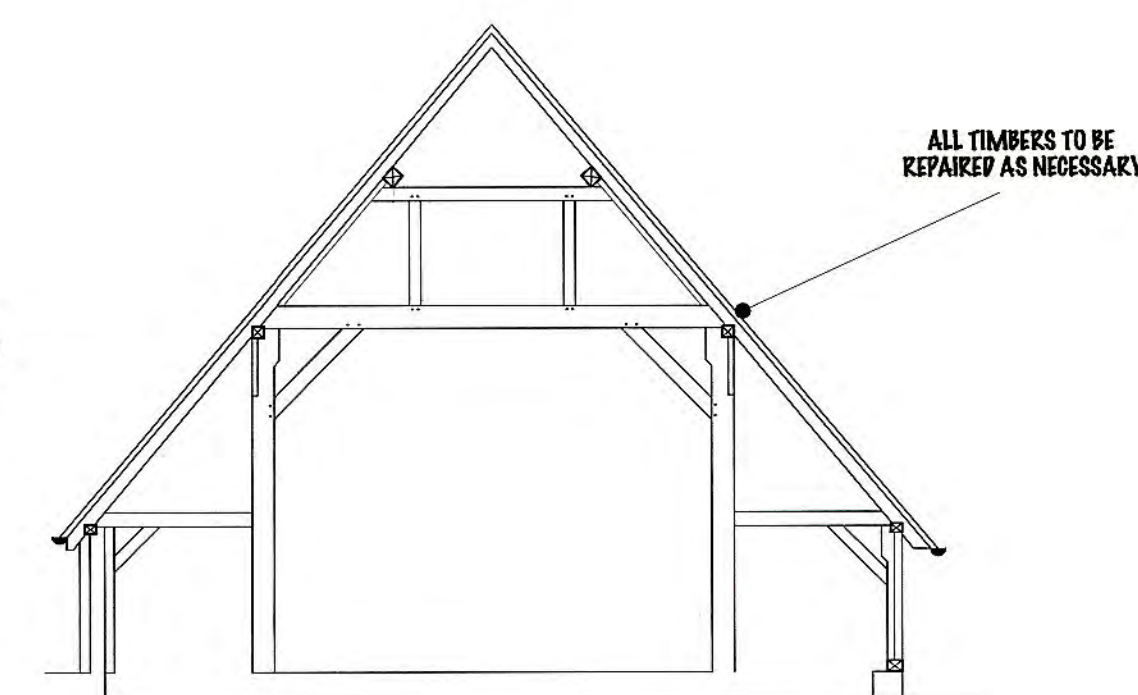


NOTE

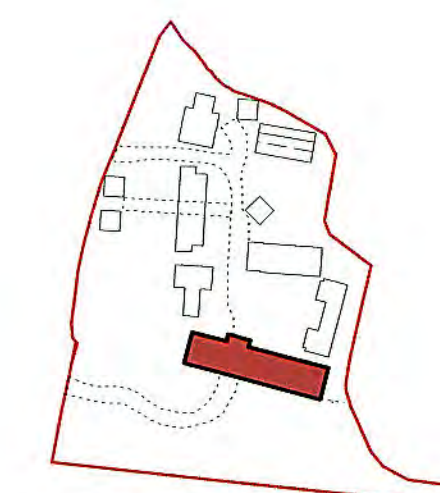
ALL TIMBER SHALL BE IN GREEN STEEPY ENGLISH OAK AND SHALL BE TO TRADITIONAL PRACTICE.

OAK FOR SPLICING OR PEIRING IN SMALL SECTIONS OF LESS THAN 100 SCANTLING SHALL BE AIR DRY OAK WITH A MOISTURE CONTENT LESS THAN 12% IT IS BEING USED TO FIX, AND ALL JOINTS SHALL BE DRAW BORE.

ALL MASONRY CONSTRUCTION AND REPAIR SHALL BE CARRIED OUT USING A NORM 1:3 LIME PUTTY/SHARP SAND MORTAR TO MATCH THE EXISTING, AND ALL DETAILING AND MATERIALS SHALL MATCH ELSEWHERE.

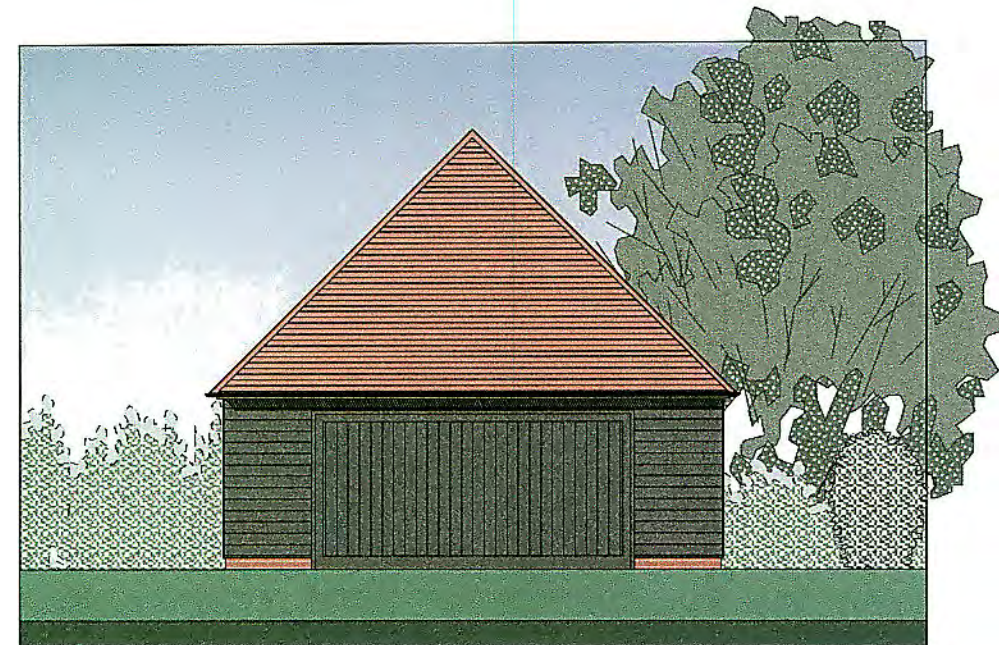


SECTION A-A

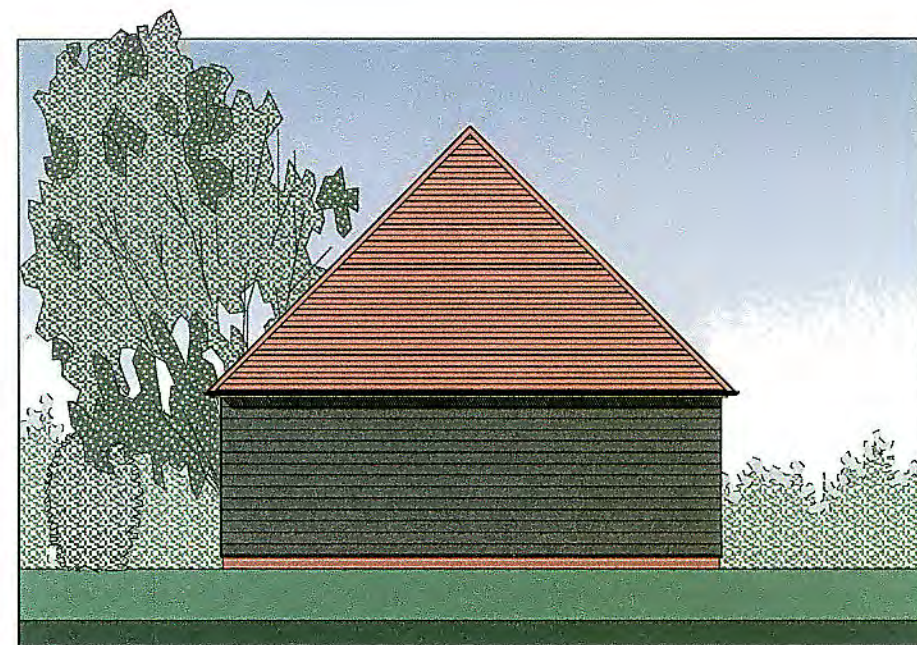


SITE KEY PLAN

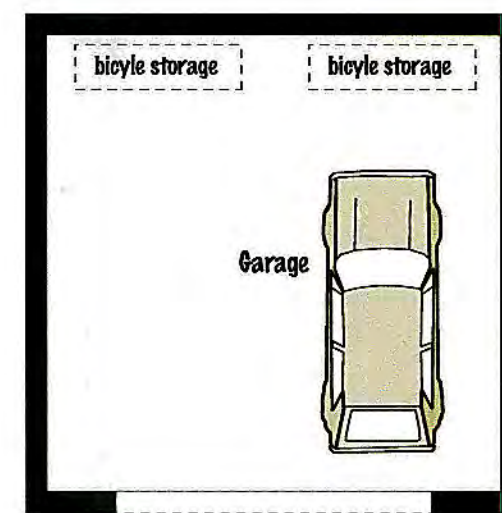
**EXISTING BARN
(PROPOSED GARAGING FOR
HOUSES 1, 7, 8, 9 & 10)**



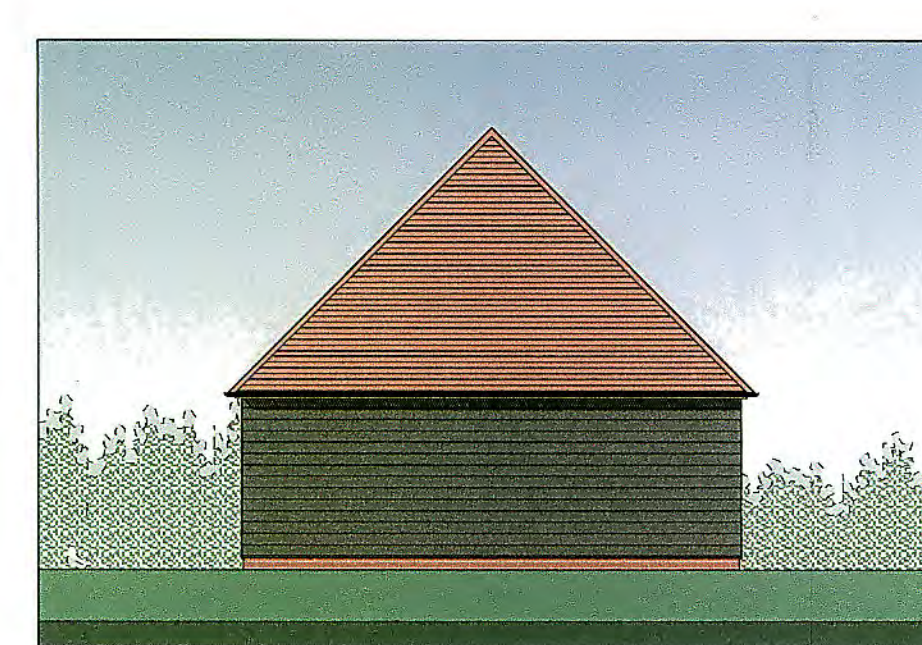
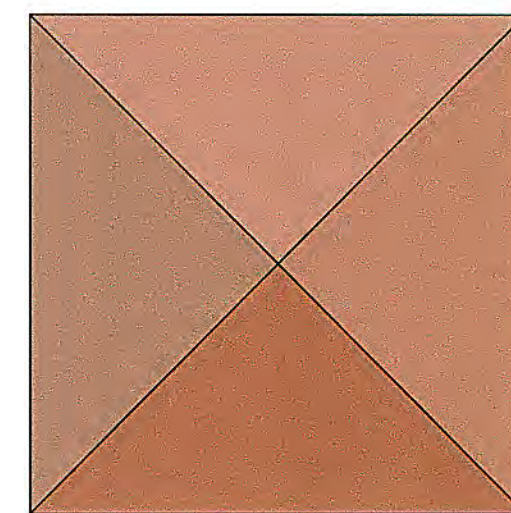
NORTH ELEVATION



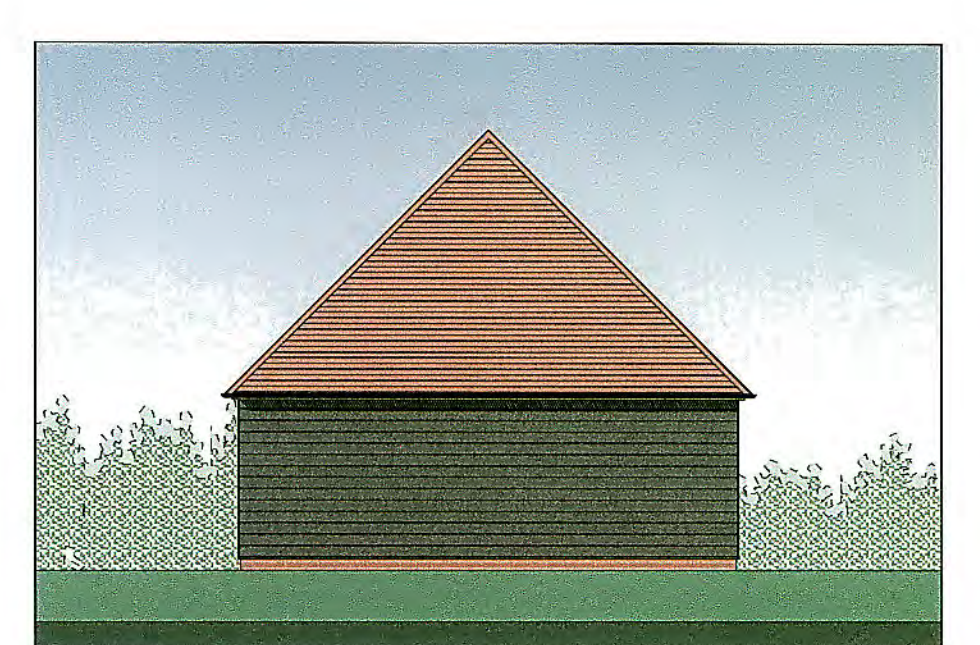
SOUTH ELEVATION



GROUND FLOOR PLAN

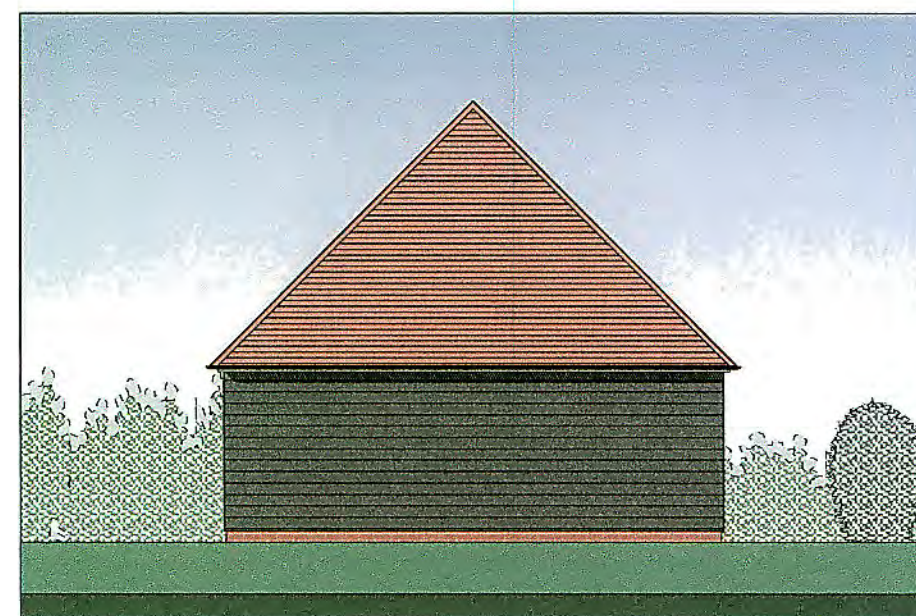


EAST ELEVATION



WEST ELEVATION

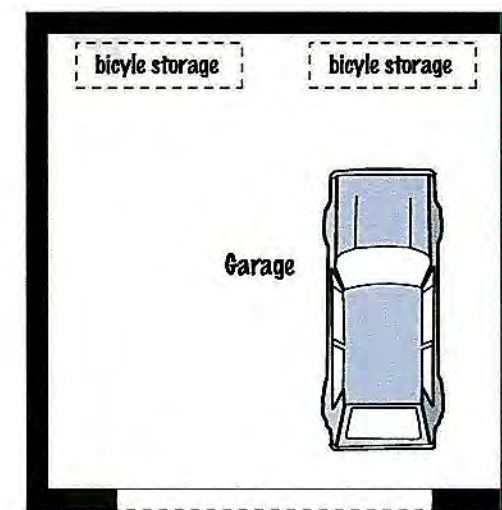
GARAGE FOR HOUSE 2



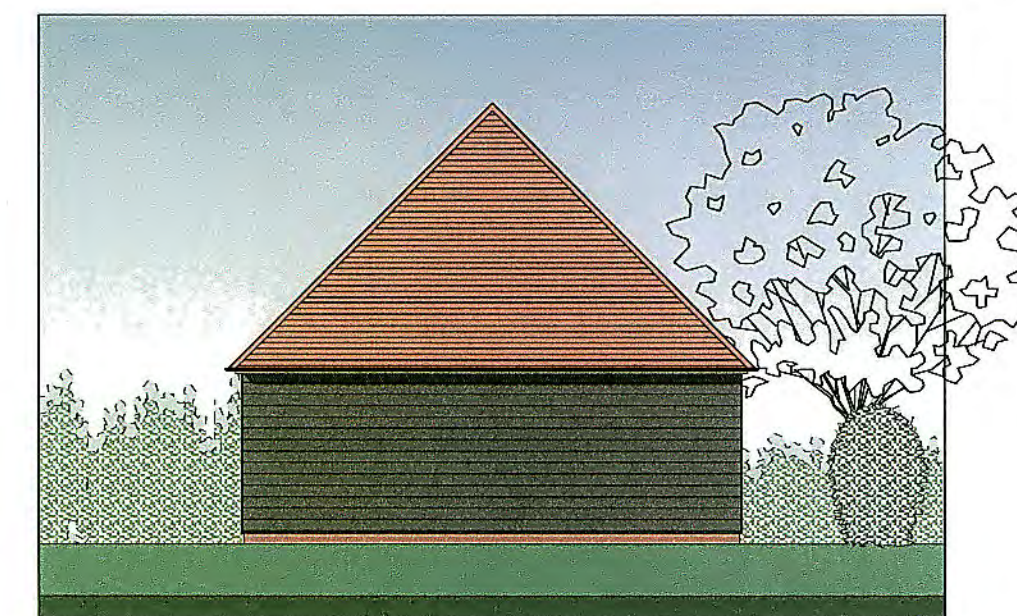
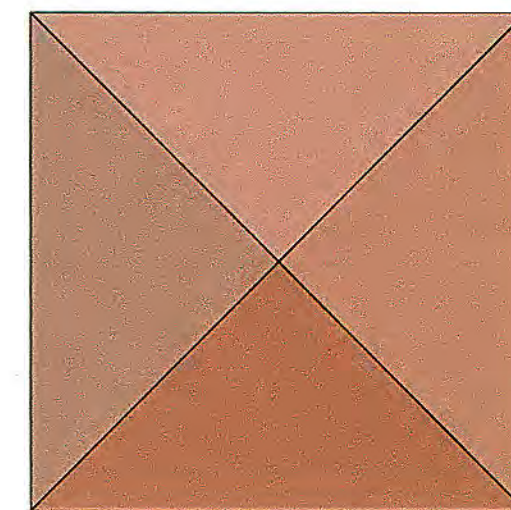
NORTH ELEVATION



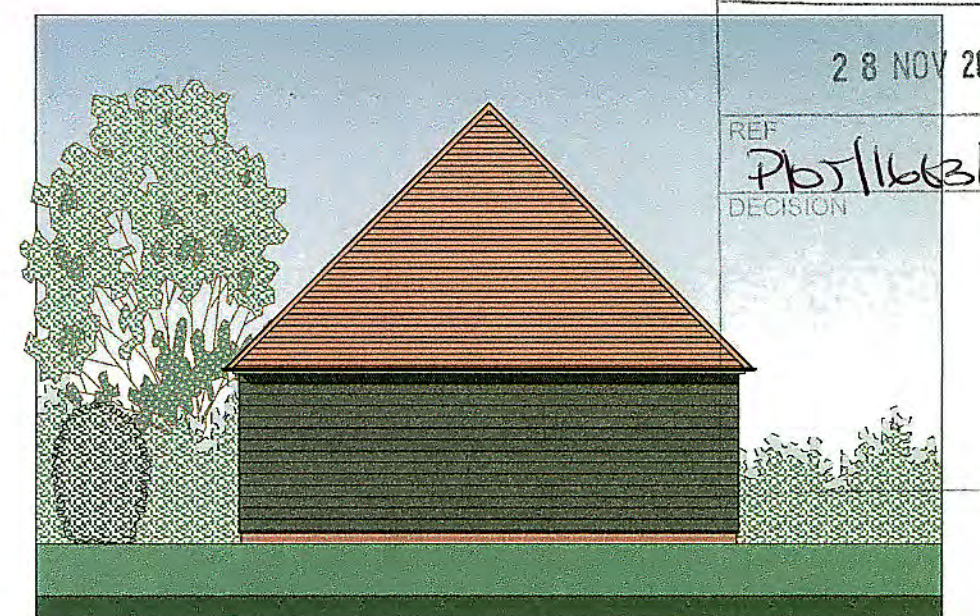
SOUTH ELEVATION



GROUND FLOOR PLAN

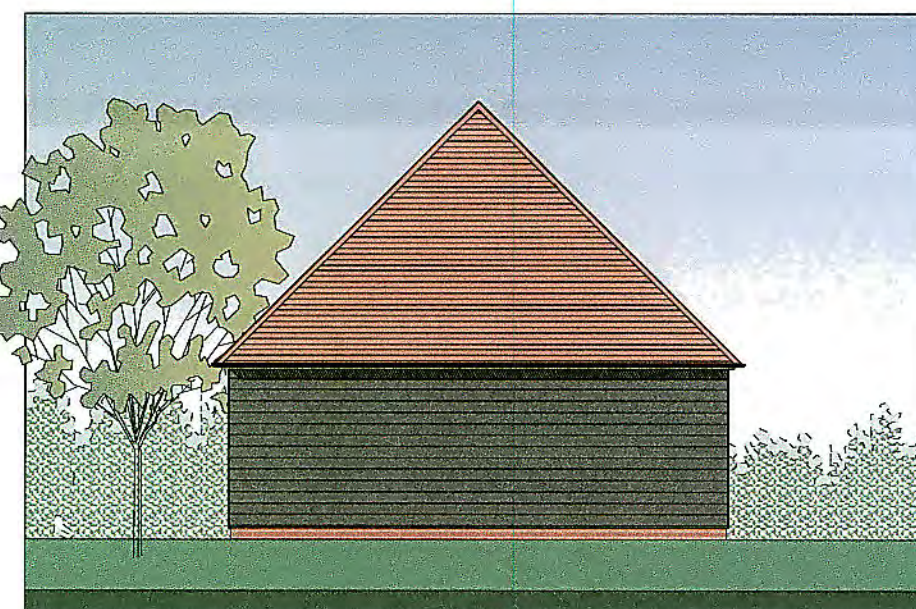


EAST ELEVATION

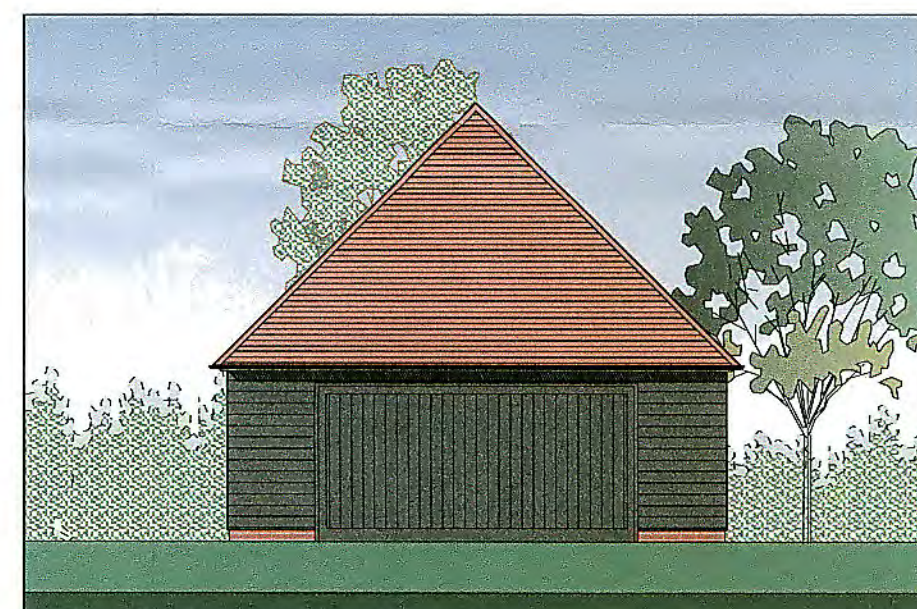


WEST ELEVATION

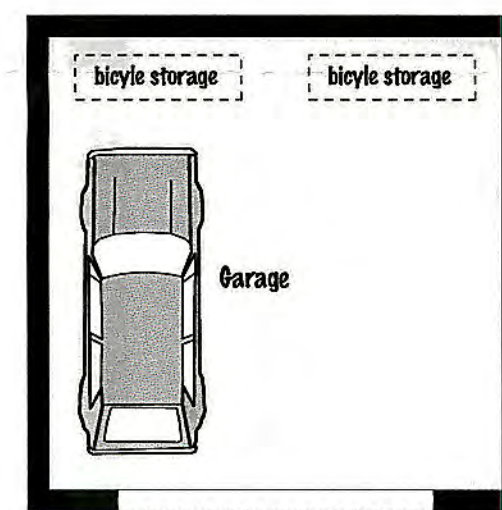
GARAGE FOR HOUSE 3



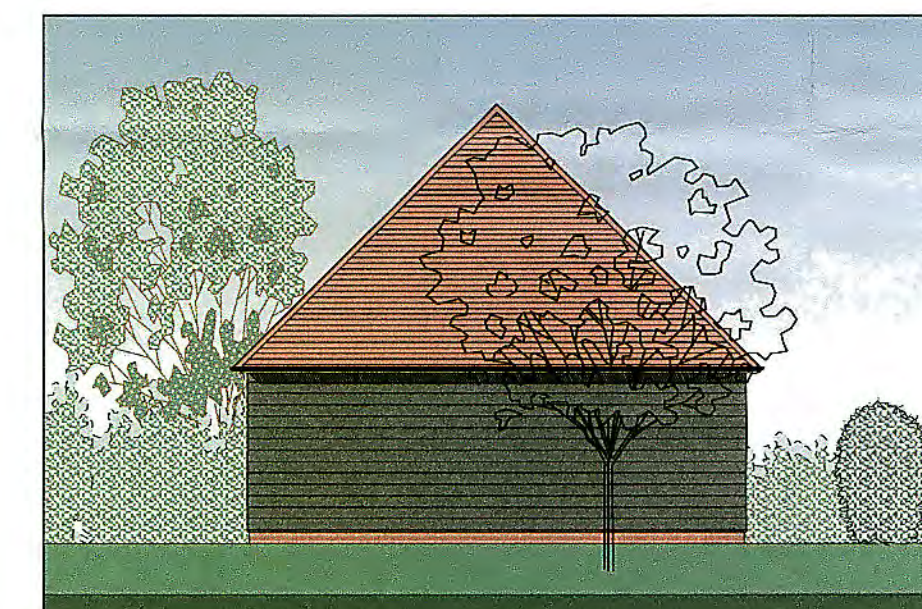
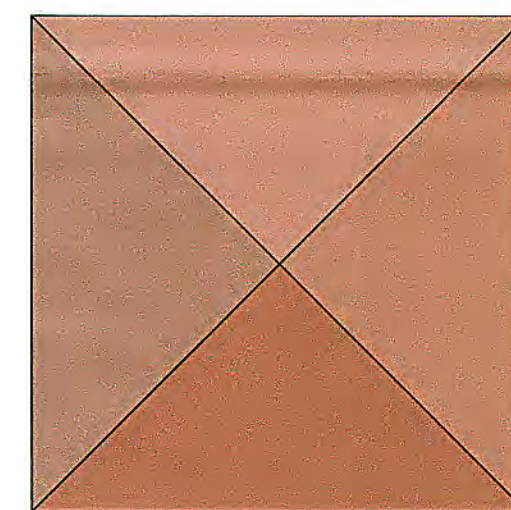
NORTH ELEVATION



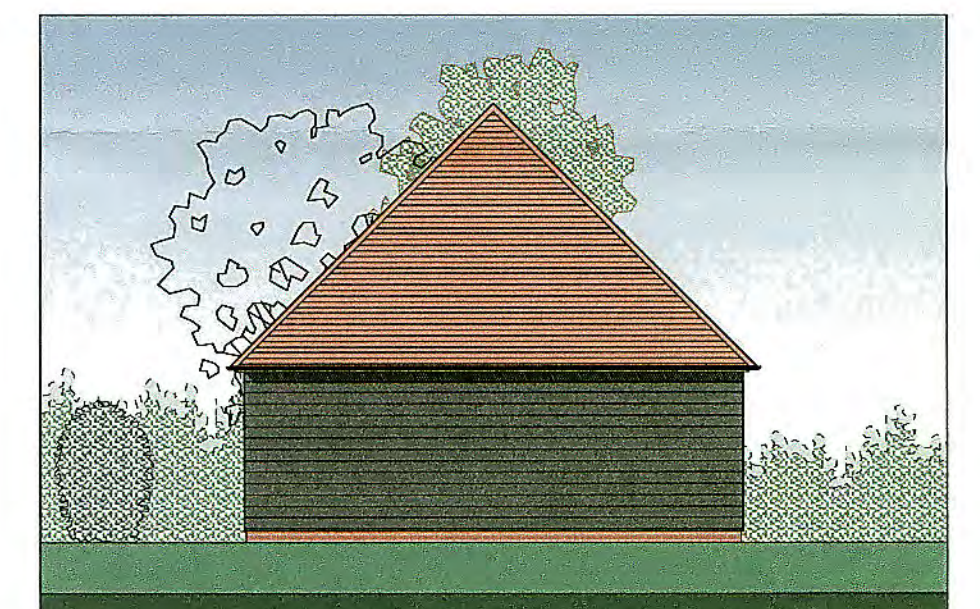
SOUTH ELEVATION



GROUND FLOOR PLAN

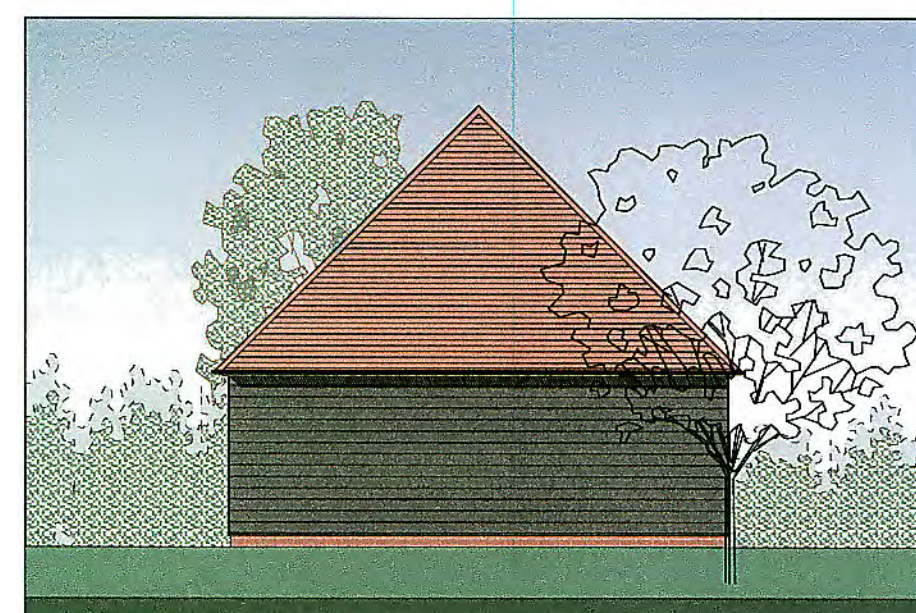


EAST ELEVATION

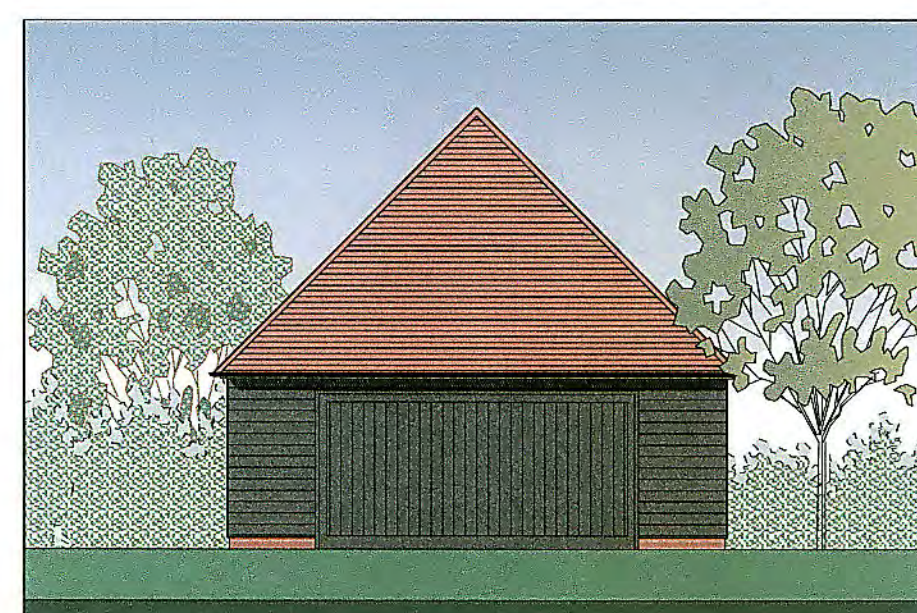


WEST ELEVATION

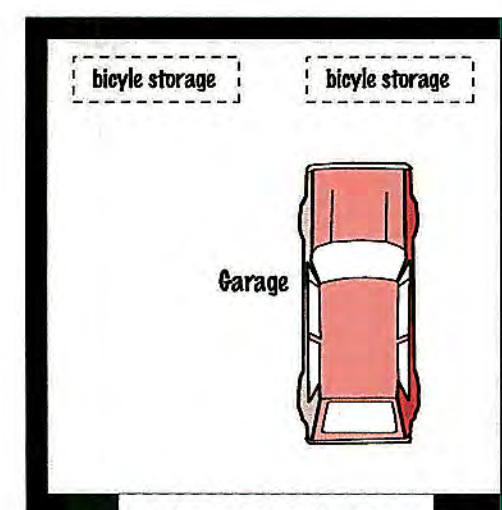
GARAGE FOR HOUSE 5



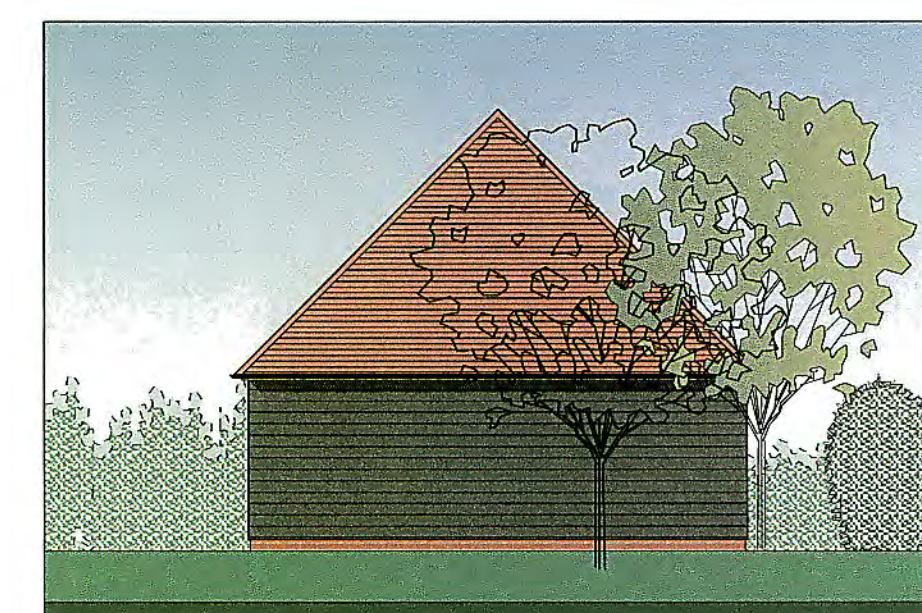
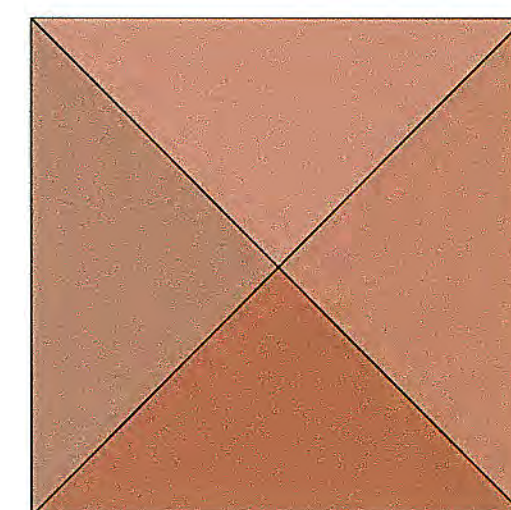
NORTH ELEVATION



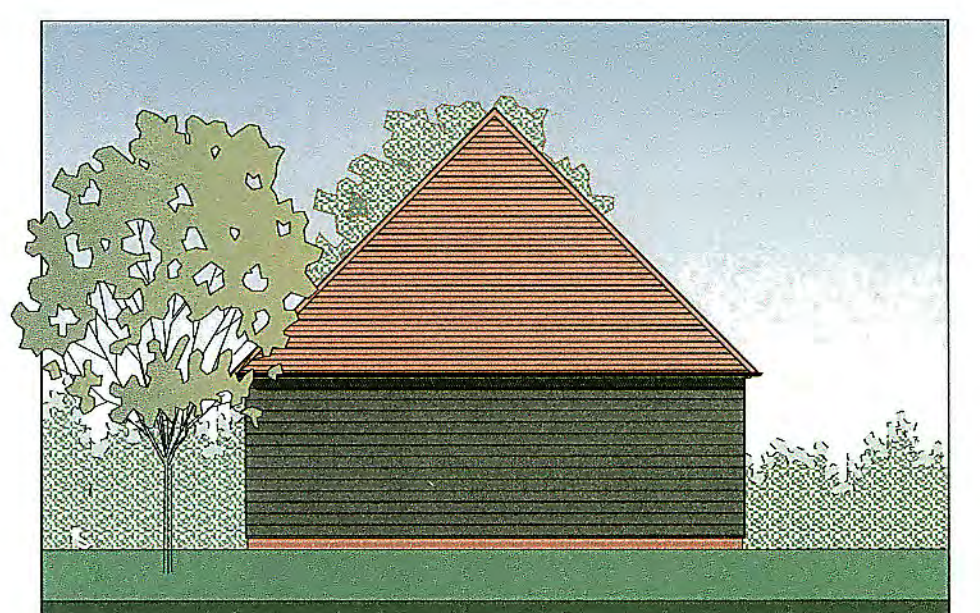
SOUTH ELEVATION



GROUND FLOOR PLAN



EAST ELEVATION

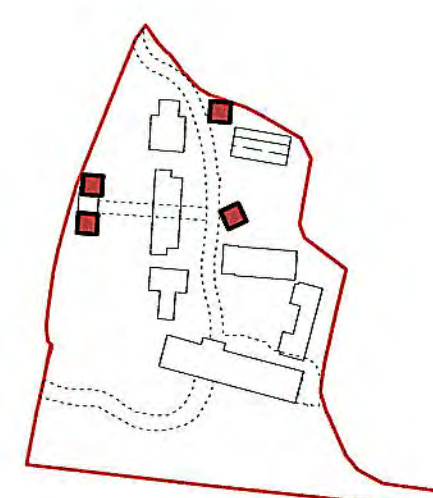


WEST ELEVATION

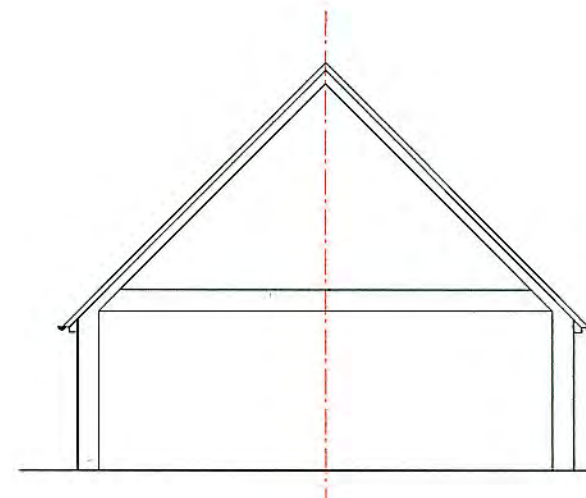
GARAGE FOR HOUSE 6

MATERIALS FOR GARAGES

ROOF: HANDMADE RED CLAY TILES
WALLS: BLACK WEATHERBOARDING
PLINTH: RED FACING BRICK PLINTH

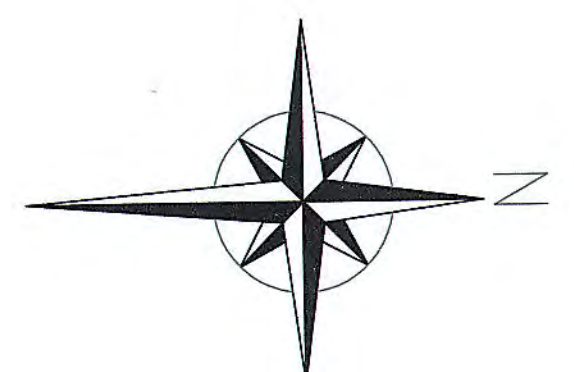
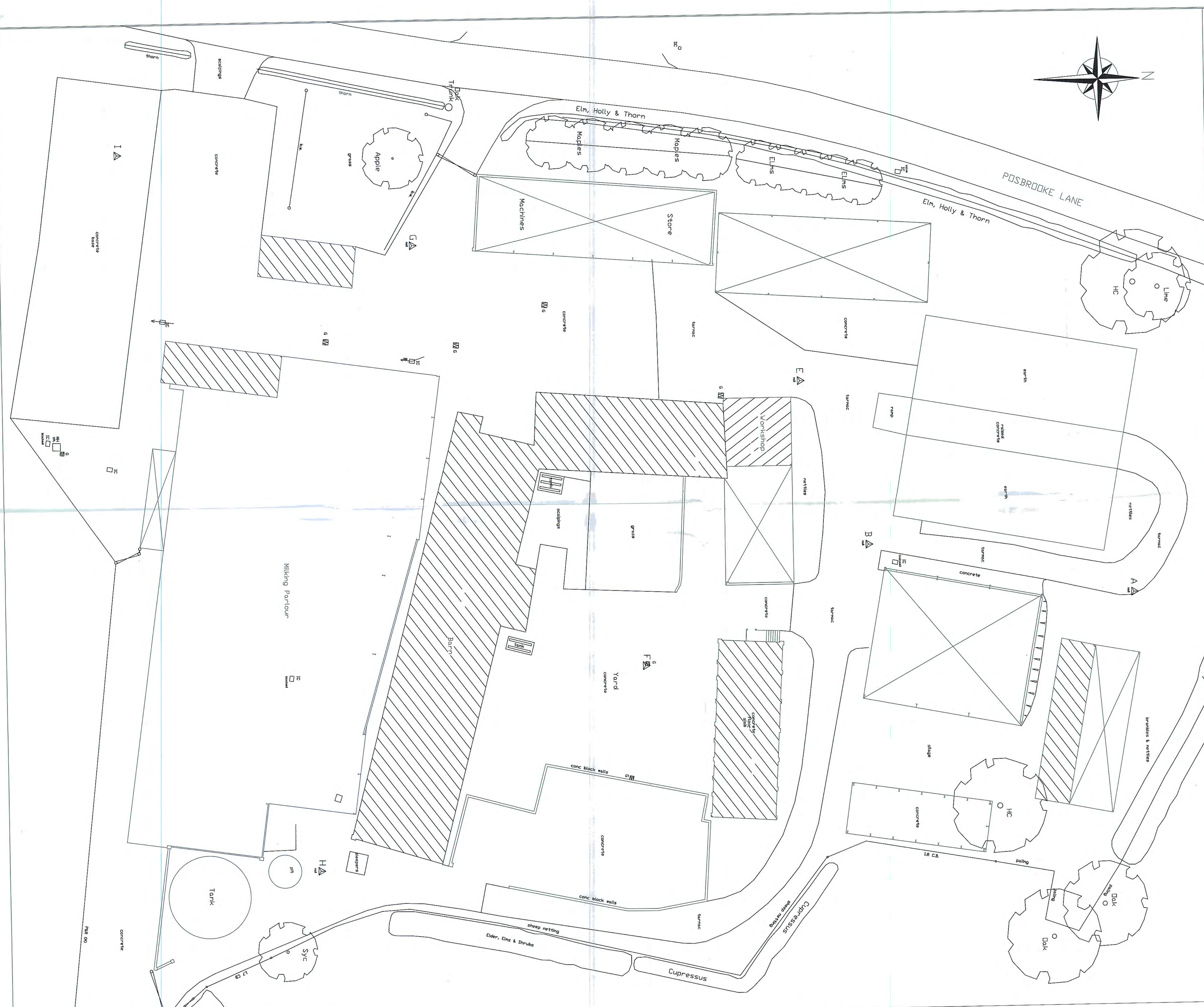


SITE KEY PLAN



PROPOSED GARAGING FOR HOUSES 2, 3, 5 & 6

REVISION A: 26/10/05 Planning Application	
JOB: POSBROOKE FARM, TITCHFIELD FAREHAM FOR: N H BRIERCLIFFE	
TITLE: GARAGING: PLANS AND ELEVATIONS	
SCALE: 1:100	DATE: OCT 2005
DRAWING NO: 1480/17	REV: A



Notes

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FAREHAM BOROUGH COUNCIL DEVELOPMENT CONTROL	
28 NOV 2005	
REF	99/18/S2
DECISION	

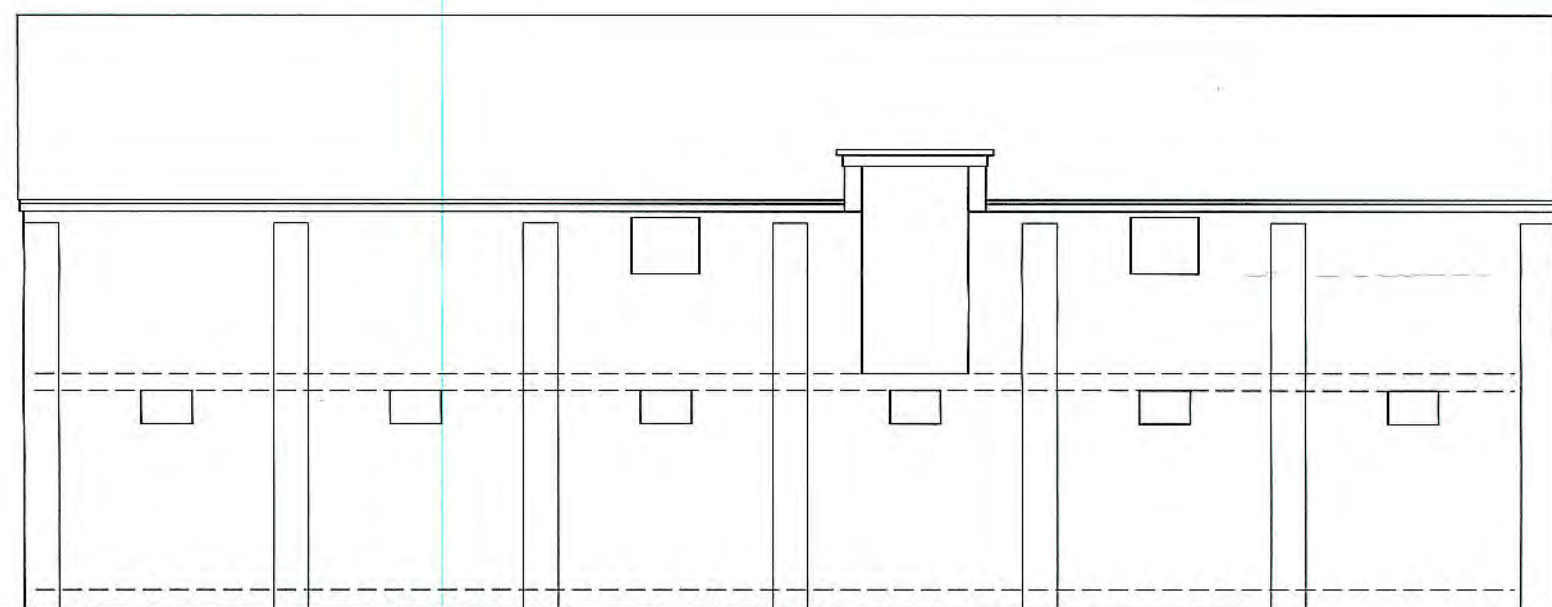
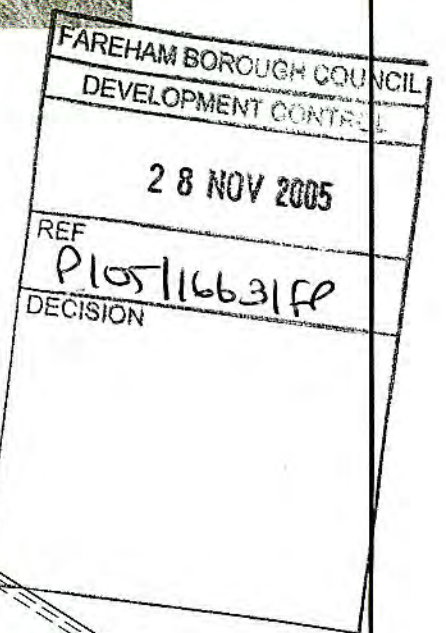
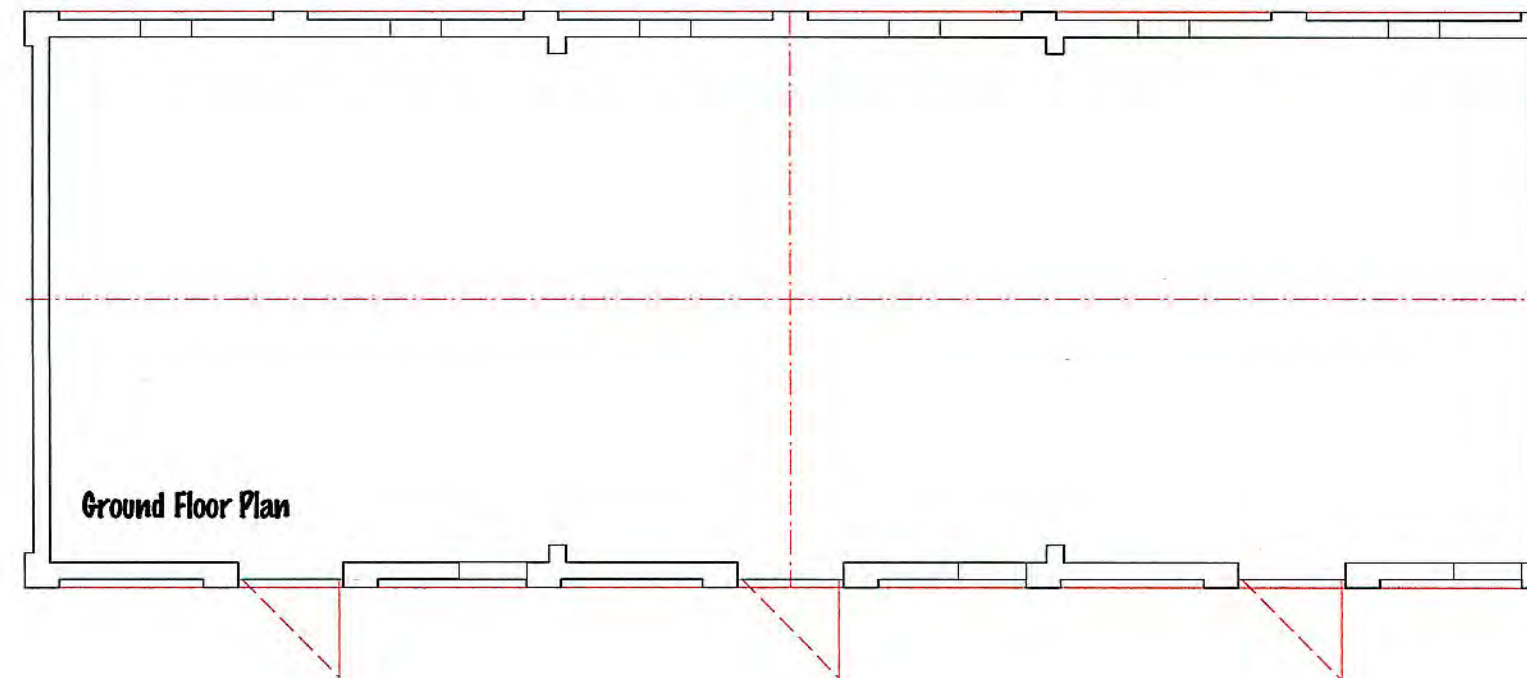
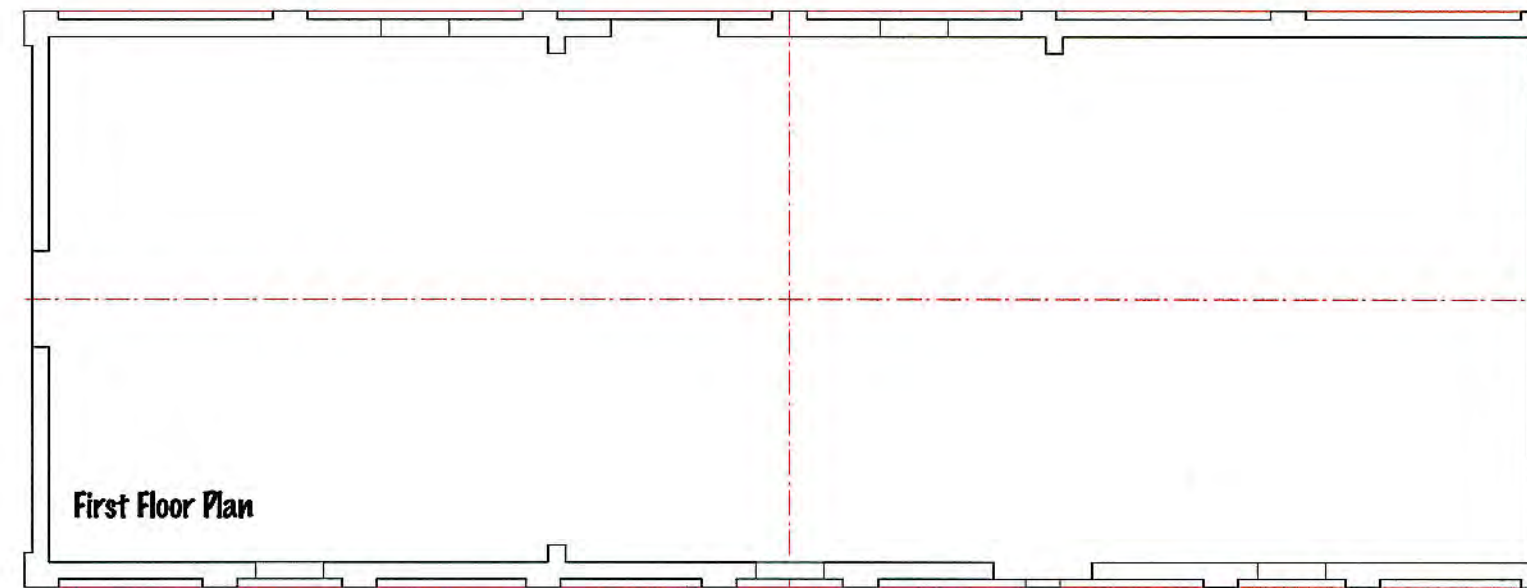
Amendments

GREAT POSBROOK FARM
TITCHFIELD
FAREHAM HAMPSHIRE

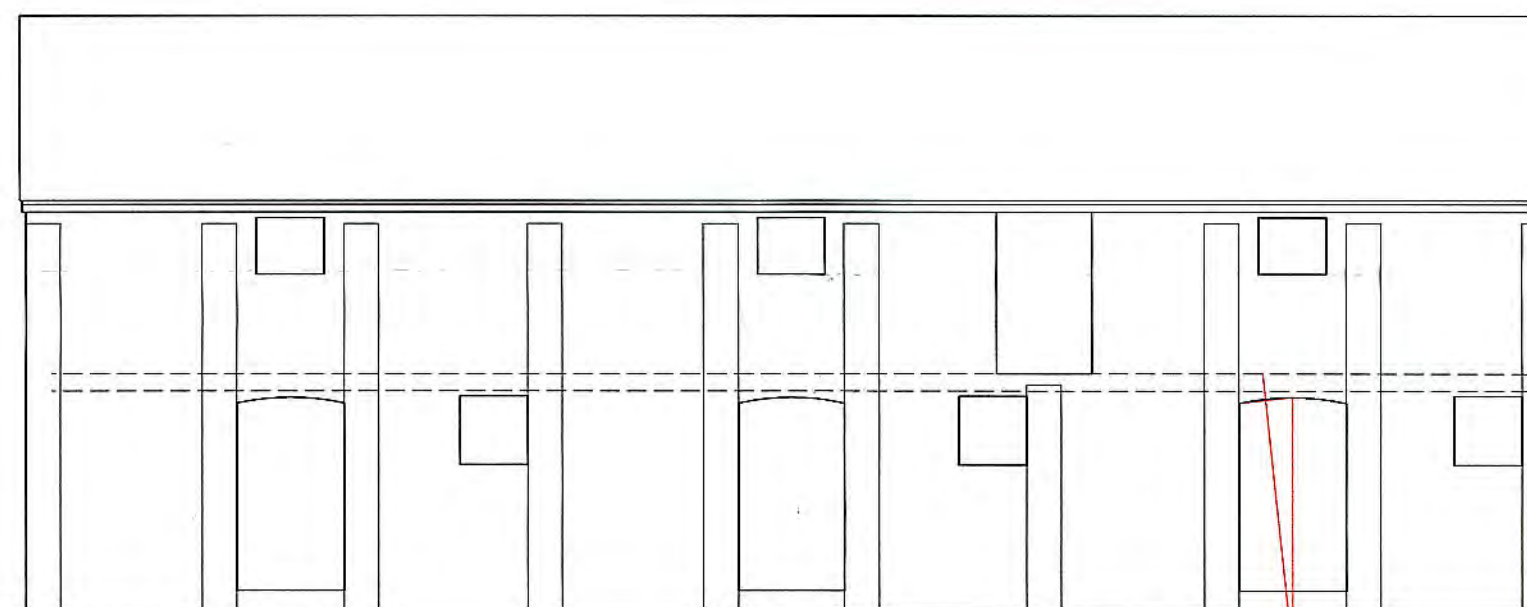
JS CP JOHN STARK & CRICKMAY
PARTNERSHIP ARCHITECTS
13 & 14 Princes Street Dorchester
Dorset DT1 1TW Tel 01305 262636
e mail johnstark.co.uk Fax 01305 260960

SURVEY
BLOCK PLAN

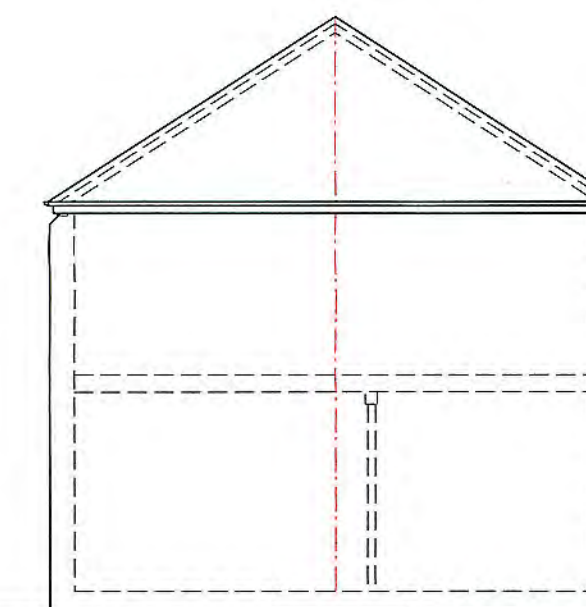
Scale	1:200
Drawn	I.P.C
Date	JUNE 1999
99/18/S2	



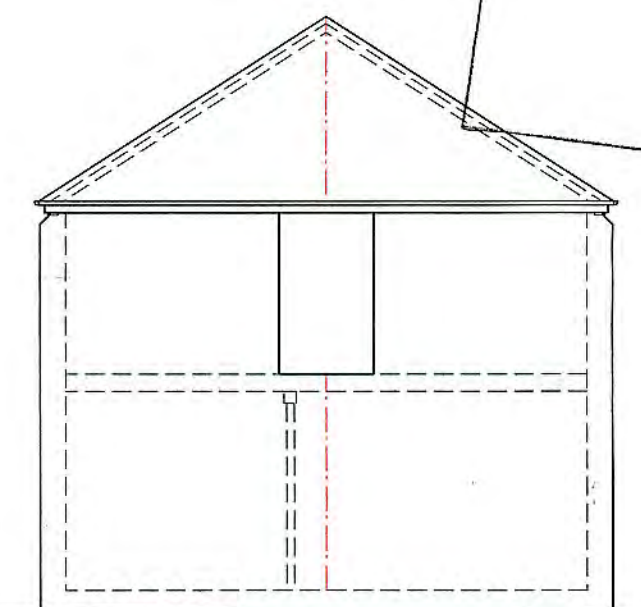
North Elevation



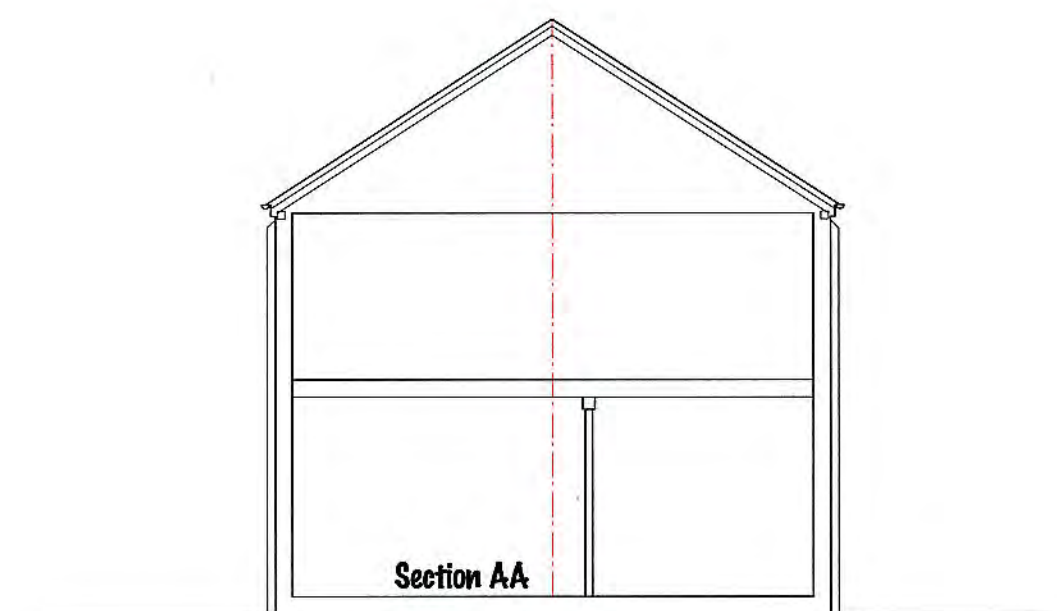
South Elevation



East Elevation



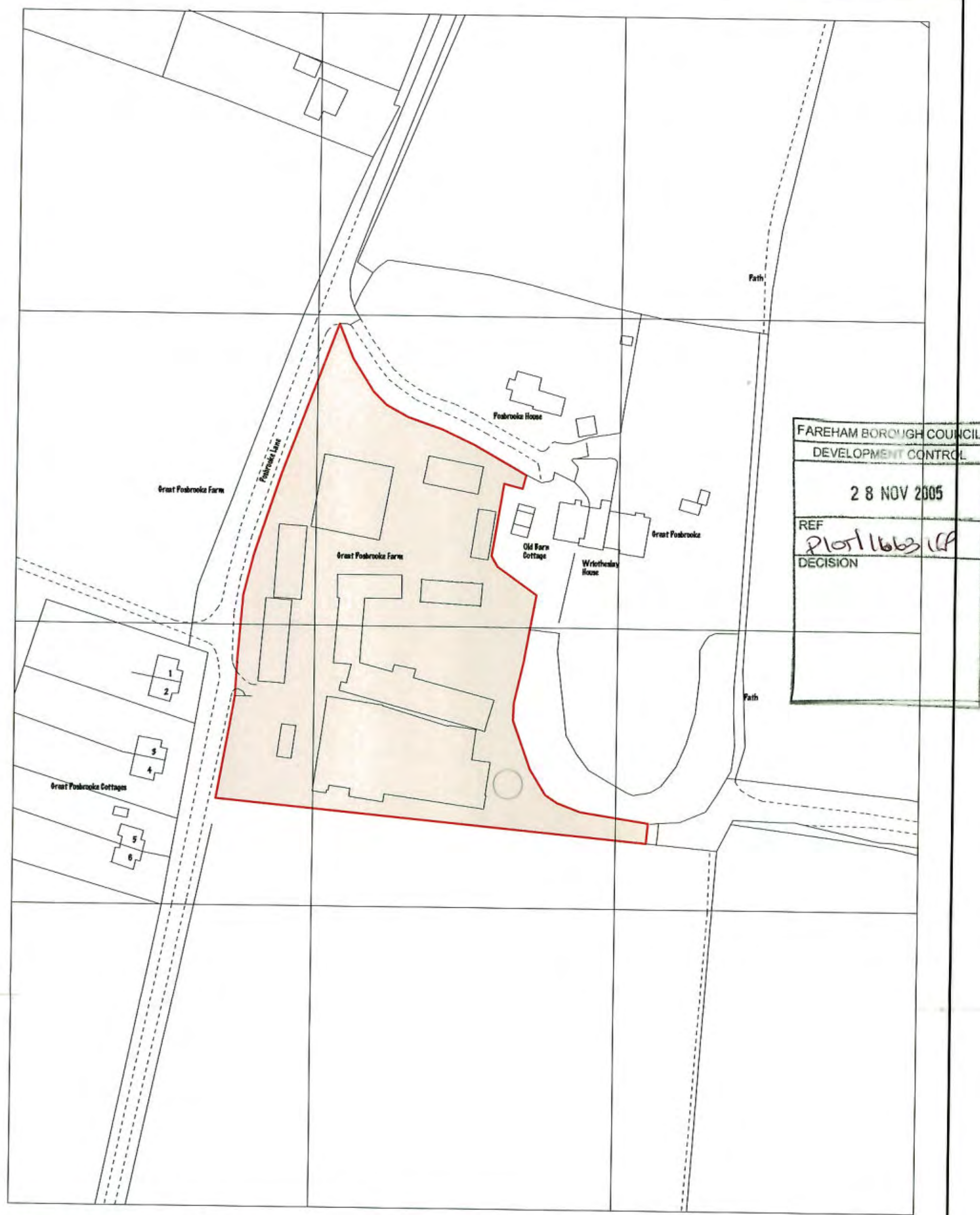
West Elevation



Section AA



CART SHED



FAREHAM BOROUGH COUNCIL
DEVELOPMENT CONTROL
28 NOV 2005
REF: 2005/0005
DECISION

LOCATION PLAN 1:1250



POTATO STORE

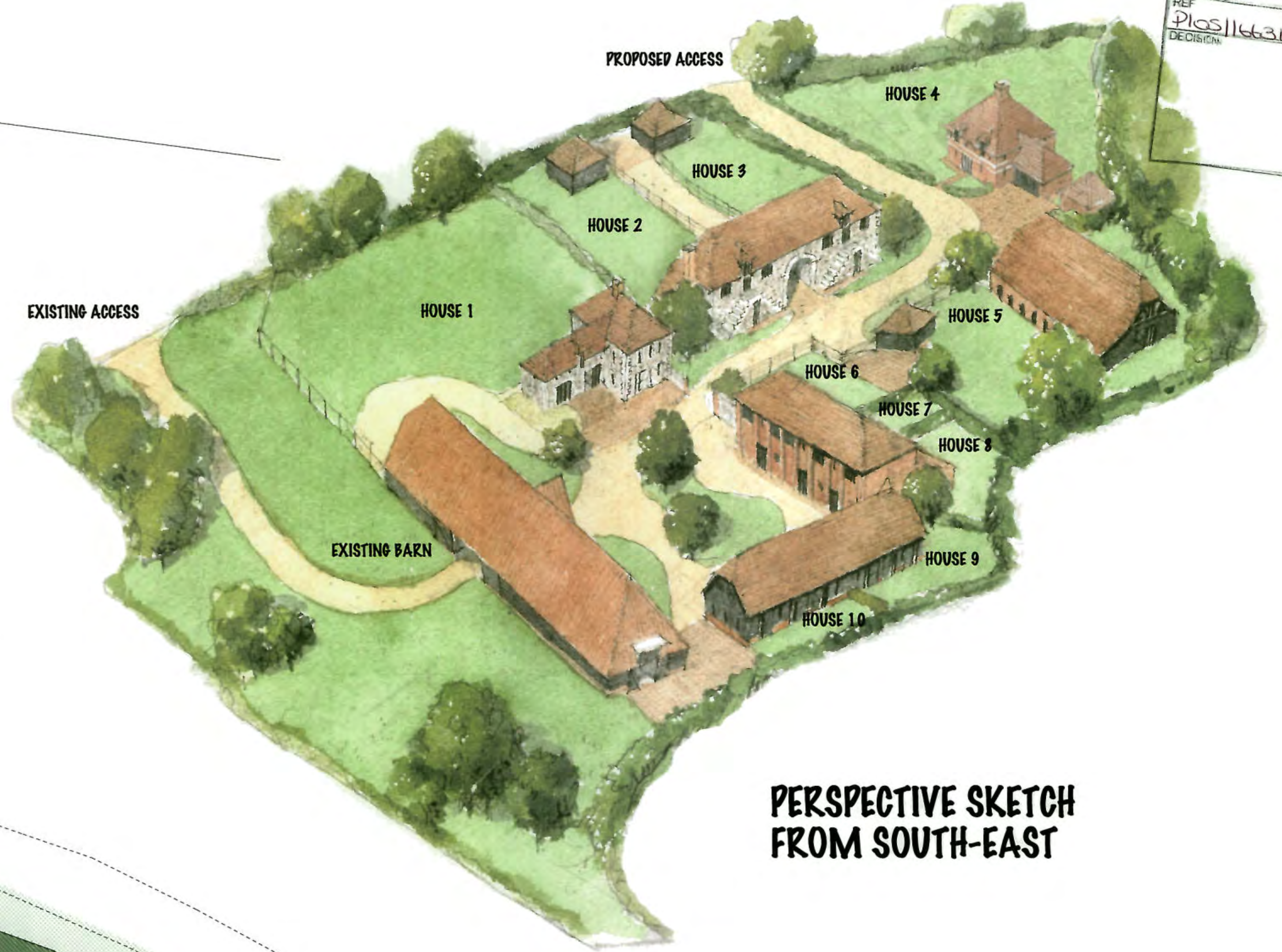
EXISTING SITE PLAN SHOWING DEMOLITION

- BUILDING TO BE DEMOLISHED
TOTAL AREA 99,227 SQ/F
- BUILDING TO BE RETAINED
TOTAL AREA 8,950 SQ/F
- POSITION OF NEW HOUSES
TOTAL FLOOR AREA OF NEW
BUILD 12,876 SQ/F
- NOTE
TOTAL REDEMPTION OF BUILDINGS ON SITE
WHICH INCLUDES THE PROPOSED DEVELOPMENT
IS 29,901 SQ/F

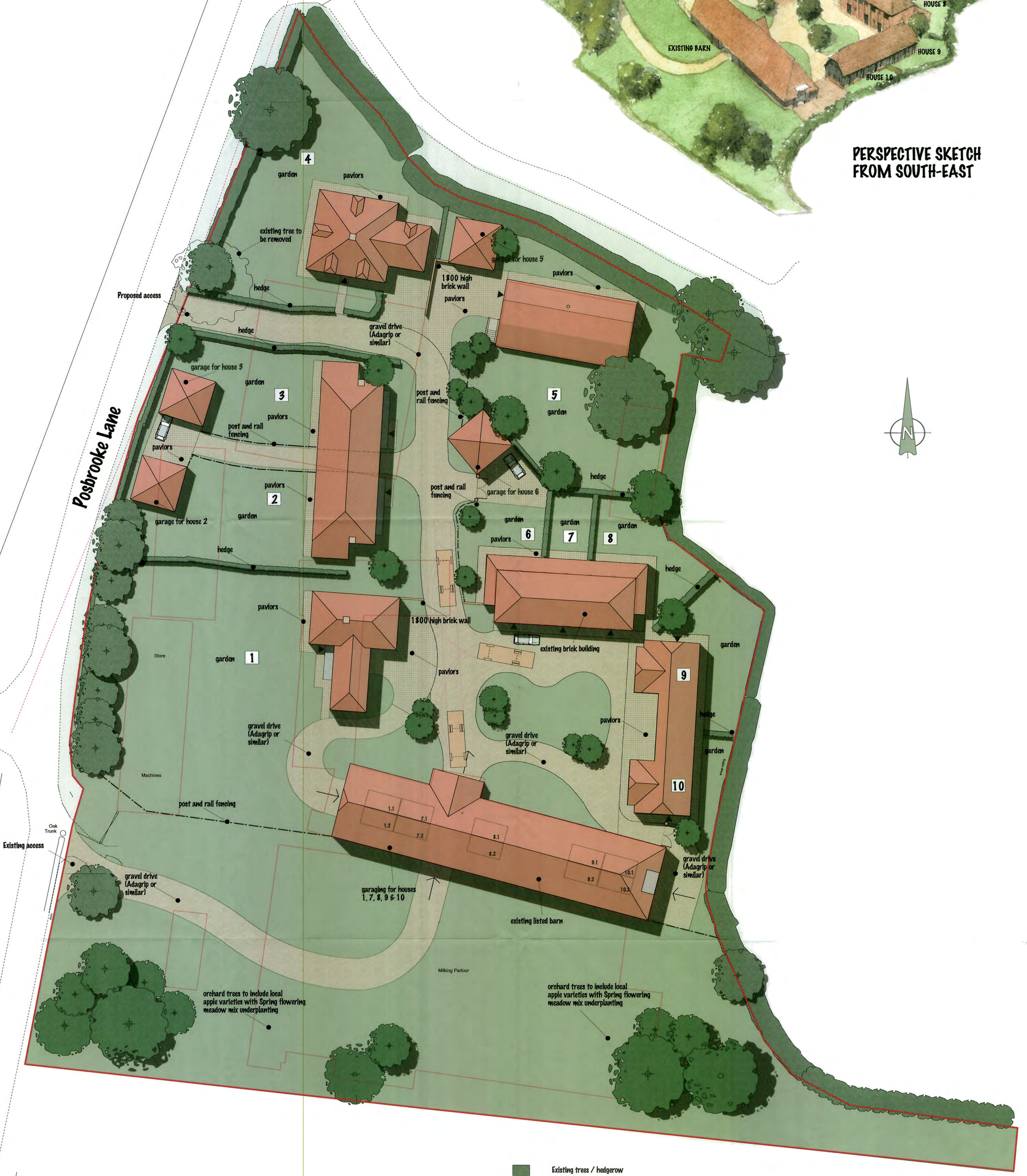


LISTED BARN

REVISION A: 26/10/05 Planning Application
JOB: POSBROOKE FARM, TITCHFIELD FAREHAM FOR: N H BRIERCLIFFE
TITLE: SITE DEMOLITION & LOCATION PLANS
SCALE: 1:500 / 1:1250
DATE: OCT 2005
DRAWING NO: 1480/02
REV: A



PERSPECTIVE SKETCH
FROM SOUTH-EAST



PROPOSED SITE PLAN SHOWING PROPOSED LANDSCAPING

- Existing trees / hedgerow
- Proposed new trees / hedgerow
- Proposed hedge - an indigenous hedgerow shall be planted in a double staggered row, with rows 600mm - 1.0m apart and plants along them at 600mm centres.

REVISION	
A: 26/10/05	Planning Application
JOB: POSBROOKE FARM, TITCHFIELD FAREHAM	
FOR: N H BRIERCLIFFE	
TITLE: SITE PLAN & PERSPECTIVE SKETCH	
SCALE: 1:500	DATE: OCT 2005
DRAWING NO: 1480/01	REV: A



Tank and sheds to be removed at the southern end of garden (Old Barn Cottage)

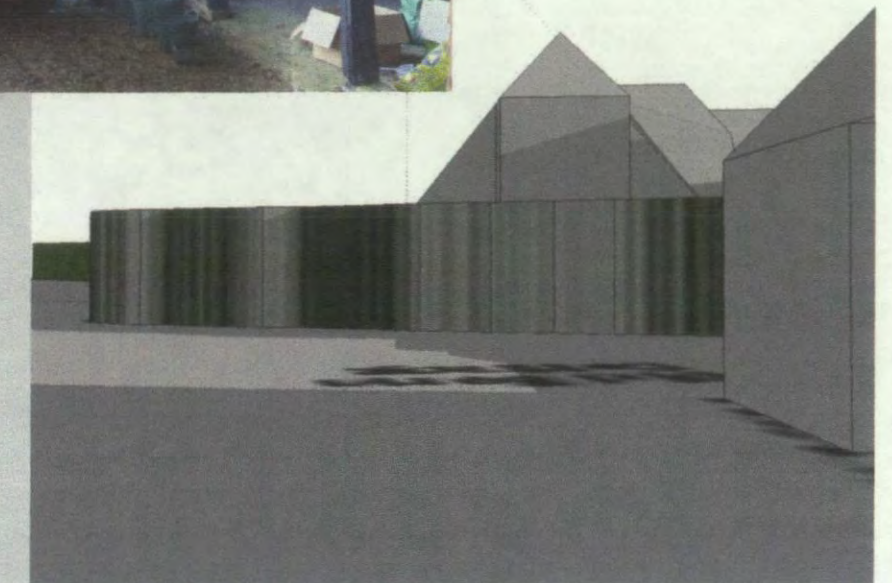


Sheds to be removed at the western end of garden (Old Barn Cottage)



montage, not computer generated image

Roof of proposed dwelling from South West of garden (Old Barn Cottage)



computer generated image

I. W. Payne & Partners

20 MARKET PLACE, ROMSEY, HANTS. SO51 8N
TELEPHONE: (01794) 517081 FAX: (01794) 51702

19 April 2004

Bryan Jezeph Consultancy
The Gallery
3 South Street
Titchfield
Hampshire
PO14 4DL

For the attention of: Mr B Jezeph

Dear Bryan

Re: 10 Bay Barn - Great Posbrooke
Titchfield

I now enclose my completed Schedule of Repair for the barn. The general basis of the extent of the repair is the same as already discussed but for clarity I have listed below the main areas of work that we have not included at this stage.

- 1.0 Removal of internal machinery and internal debris.
- 2.0 Alterations to or completion of the concrete ground slab.
- 3.0 Wall boarding or any fenestration.
- 4.0 Replacement of roof cladding or tiling.
- 5.0 Services and fitting out.
- 6.0 External clearance.

I should also remind you that:-

- 7.0 We have recommended removing the end western bay and at the moment this is not indicated on the Architects drawings.
- 8.0 We are replacing the original post in the cart entrance which again will need to be shown on the Architects drawings.

Cont'd....

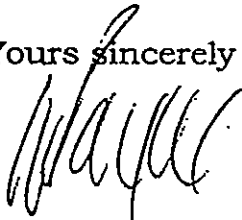
Cont'd...Page 2

Further, consideration will need or could be given to the following:-

- 9.0 All alteration to the non original eastern entrance could be considered to reduce costs and help the structure of the roof, if tiling is ever going to be considered.
- 10.0 The two western most cross frames may cause problems as there is something strange about their level, which would be ok with thatch but might produce a large dip in the ridge.

The costings for the repair work will be completed within the next week and you will be able then to build up your total costings and submit them to the Local Authority. If it helps perhaps we could meet once again to make sure that everything has been fully covered.

Yours sincerely



I W Payne

c.c. Fay & Sons



I. W. Payne & Partners

20 MARKET PLACE, ROMSEY, HANTS. SO51 8NA
TELEPHONE: (01794) 517081 FAX: (01794) 517028

SCHEDULE OF REPAIR

10 BAY BARN

GREAT POSBROOKE

TITCHFIELD

HAMPSHIRE

This schedule is intended to cover the repair of the basic structure of the above prior to any possible conversion or future use. It includes:

- 1.0 The maintenance of the newer structure in the two most eastern bays without restoration.
- 2.0 The removal of the western later added lean to hipped end bay.
- 3.0 The restoration of the main cart entrance to its original form.
- 4.0 Maintaining the southern aisle block wall with only main crossframe posts and the eaves plate remaining.
- 5.0 The removal of localised areas of the inserted machinery and walkways to enable repair and restoration to be completed.
- 6.0 The provision of new main arcade post foundations and plinths.
- 7.0 The provision of new foundations and the plinth wall to the northern aisle, and western gable.
- 8.0 The repair and restoration of the remainder including replacing oak rafters and all bracing to leave it structurally sound.

Unless softwood is specifically indicated all timber shall be in Green Steady English Oak, except for piecing in, and shall be to traditional practice to details as per the existing elsewhere on the building, and to my standard notes and details as amended by instructions on site to suit the specific conditions. Oak for splicing or piecing in small sections of less than 100 scantling shall be air dry oak with a moisture content of 22% or less. All pegs shall be in air dry oak with a moisture content less than the material it is being used to fix, and all joints shall be draw bored.

All masonry construction and repair shall be carried out using a nom 1:3 lime putty/sharp sand mortar to match the existing, and all detailing and materials shall match elsewhere.

The following items are intended to summarize the work required to be carried out. Costs should be inserted against each item to fully reflect all the work reasonably necessary in carrying out what is required by the Schedule, whether specifically mentioned or not, to comply with the current British Standards, the Building Regulations and good practice.



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

- | | | |
|-----|--|----------|
| 1.0 | Arrange for removal of remainder of block work including internal debris to tip on site (Note southern wall to remain in its entirety and all block work to eastern two bays). | 3,750.00 |
| 2.0 | Allow for fully braced and adjustable internal support scaffold to pick up tie beams, arcade plates northern eaves plate and the cart entrance capable of realigning them. | 8,972.25 |
| 3.0 | Allow for hanging all posts studs and cills from above supported structure. | 2,550.00 |
| 4.0 | Allow for removing recently added western end lean to bay. | 795.00 |
| 5.0 | Allow for demolishing the existing main post bases including grubbing out the foundations and take all debris to tip on site. | 3,500.00 |
| 6.0 | Allow for realigning complete structure to produce straight and level eaves and arcade plates including:- | 8,500.00 |
| 6.1 | Closing all longitudinal joints and leaving posts and studs vertical. | 3,300.00 |
| 7.0 | Allow for constructing new main arcade post foundations including:- | |
| 7.1 | 1.5 x 1.5 m x 500 thick concrete pads set 600 mm below slab level (Local Authority Approval required For 50 KN/m ² bearing Pressure) | 3,300.00 |



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

7.2	450 x 450 brick piers upto underside of posts with semi engineering brickwork below slab level – (assume four courses above slab level)	2,750.00
7.3	Taking all debris to tip on site.	450.00
8.0	Allow for carefully taking down the existing plinth wall to the northern elevation and around the cart entrance including grubbing out the foundation and set aside all sound bricks for possible re-use and take all debris to tip on site. (Note two most eastern bays to be left).	2,050.00
9.0	Allow for constructing new foundations for the northern and western wall and around the cast entrance, but kept low to entrance across bay 4 – 5 including:-	
9.1	600 x 225 concrete strip foundations set 1000 below external ground level (Note. Local Authority approval).	5,150.00
9.2	Single brick thickness wall in English bond upto cill plate level including a dpc at slab level and semi engineering bricks beneath it and rebedding the existing or new cill plates.	15,250.00
9.3	Take all debris to tip on site.	540.00
10.0	Allow a provisional sum of £3000.00 for further foundation works as found necessary due to increased excavation, insertion of ducts etc.	3,000.00



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

- | | | |
|------|---|----------|
| 11.0 | Allow for cutting the bases of all main arcade posts square to remove all rot and frass and leave sound bearing area and bed onto new plinths. | 1,220.00 |
| 12.0 | Allow for splicing on new lower section of main arcade post of D3 below brace level and to post C3 below aisle tie level and recut and reconnect braces. | 3,134.00 |
| 13.0 | Allow for removing or adapting internal scaffold system to produce complete boarded birdcage access and working scaffold whilst leaving northern aisle supported where necessary. | 3,650.00 |
| 14.0 | Allow for all major and minor lifting gear for new oak members including arcade plates and braces etc. | 1,040.00 |
| 15.0 | Allow for removing all external boarding to northern aisle and around cart entrance and take to tip on site. | 995.00 |
| 16.0 | Inspect exposed structure of northern aisle wall and prepare schedule of repair but <u>provisionally</u> allow for the following:- | |
| 16.1 | Replace 3 bays length of cill plate including jointing to the remainder, forming mortices for main posts and studs and fit. | 2,840.00 |
| 16.2 | Replace eaves plate in bay B 4 – 5 including tenoning to remainder reforming lapped dovetail assemblies form mortices for new door posts and fit. | 1,340.00 |



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

16.3	Fit new 175 x 125 cill at slab level across entrance in bay B 4 – 5 including forming mortices for door posts.	720.00
16.4	Fit new 175 x 150 door posts to bay B 4 – 5 including tenoning into eaves and new cill plate and fitting false tenons to original cills.	920.00
16.5	Fit 3 No. studs with false tenons where necessary between eaves and cill plate.	495.00
16.6	Splicing on the bottoms of 6 No. studs and/or posts including cutting back rotten timber and tenoning into cill plate.	1,620.00
16.7	Fit 8 No. mid rails including fitting false tenons where necessary.	1,640.00
16.8	Fit 1 No. longitudinal brace including tenoning into post and eaves plate.	420.00
16.9	Splice in 2 No. 3 m lengths of the outer face of the cill plate including reforming mortices and pegging to remainder. (assume 75 thick).	1,235.00
16.10	Include a provisional sum of £2000.00 for repairing the western cart entrance lean-to following exposure.	2,000.00
16.11	Include a further provisional sum of £1,000 for repair following full exposure elsewhere.	Prov. Sum 1,000.00



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

- 17.0 Allow for repairing the main cart entrance including:-
- 17.1 Construct new 600 x 600 x 300 concrete pad foundation to new post at B7a set at 600 below slab level with 225 brick piers upto four courses above slab level as previously. 350.00
 - 17.2 Insert new post, eaves plate and braces on grid 7a. 2,148.00
 - 17.3 Replace eastern principal rafter. 510.00
 - 17.4 Fit 1 new roof brace and refit the other. 360.00
 - 17.5 Pull back in eastern aisle eaves plate and reform lapped dovetail assembly at northern end. 520.00
- 18.0 Allow for erecting external access scaffold with a hire period of 2 months following completion of the works within this schedule. 5,173.00
- 19.0 Allow for carefully stripping off all roof coverings (leaving later added purlins) so that rafters can be inspected and repairs made and cover roof with temporary flexible sheeting battened down including any necessary adaption to keep the building weather tight throughout. 6,995.00
- (Note. This would best be done in areas and tied in with any replacement).
- 20.0 Allow for repairing the two eastern most bays 1 – 2 and 2 – 3 including:-



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

20.1	Fit new 175 x 175 purlin across hip including removing the existing and insert sw braces under rafters to limit thrust. (Assuming entrance way altered to provide continuous eaves).	1,470.00
20.2	Fit additional rafters to hip end and both slopes to half spacings and fix all to the purlins by twice skew nailing including forming eaves detail.	3,250.00
20.3	Repeg aisle tie on grid D following realignment.	65.00
20.4	Reform joint in arcade plate adjacent to D2 by realigning it and fitting new scarf blade.	325.00
21.0	Allow for repairing cross frame 3 including:-	
21.1	Remove all rotten timber and frass back to sound timber.	65.00
21.2	At both lapped dovetail assemblies splice in new sections of ends of tie beams and tops of post and let in new lengths of eaves plate scarfed to the new plates in bay 2 - 3, across the secondary frame 3a and scarfed to the original eaves plate beyond at joint positions.	4,082.00
21.3	Replace both principal rafters to knave and both aisles including tenoning into tie beam, accepting collar tenons, bridled at ridge and peg to the purlins.	3,200.00



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

22.0	Allow for repairing cross frame 11 including:-		
22.1	Replace southern aisle post including cutting back masonry locally as necessary and forming lapped dovetail assembly with existing eaves plate.	720.00	
22.2	Replace southern aisle tie tenoned into main arcade post and dovetailed over eaves plate.	330.00	
22.3	Replace principal rafters to both aisles tenoned into the aisle ties and skew cut to the arcade.	1,020.00	
22.4	Replace missing southern transverse brace tenoned into main post and tie beams.	360.00	
22.5	Replace 3 No. main full height posts in existing mortices in tie beam and tenon into new cill.	4,479.00	
22.6	Fit new cill plate across complete gable, including jointing to northern cill at B11, forming tenons at a common level to posts 11C, D and E, fit and bed to plinth.	3,210.00	
22.7	Include provisional sum of £1,000.00 for further new work to suit final arrangement or for repairs following further exposure.		
		Prov. Sum	1,000.00
23.0	Allow the following frame repairs elsewhere including:-		



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

23.1	Fit 5 No. new transverse braces including tenoning into tie beams and main arcade posts.	1,800.00
23.2	Replace southern arcade plate to bay C7 including scarfing <u>across</u> post positions and fitting new longitudinal braces including tenoning into main posts and plate.	2,595.00
23.3	Replace missing longitudinal brace in bay 8 – 9 to southern arcade including tenoning into main post and plate.	360.00
23.4	Fit 2 No. (no original) longitudinal braces to the southern arcade in bay 9 – 10 nailed to posts and plate.	490.00
23.5	Fit 2 No. (non original) longitudinal braces in bay 10 – 11 adjacent to frame 10 nailed to posts and plate.	490.00
23.6	Refit northern longitudinal brace in bay 7 – 8 at post C8 with false face tenon blade.	275.00
23.7	Include provisional sum of £500.00 for realigning and refixing arcade plates where pushed out to frame 10.	500.00
23.8	Fit (non original) 175 x 75 strut birds mouthed between purlins in bay 10 – 11 following re-straightening of purlins and realignment of arcade plates.	190.00



**10 BAY BARN
GREAT POSBROOKE
TITCHFIELD**

23.9	Fit new southern aisle post at E5 including reforming lapped dovetail assembly and any necessary localised removal of masonry	720.00
23.10	Replace southern aisle ties to cross frames 4 and 6 including tenoning into main posts and dovetailing to eaves plates.	660.00
23.11	Splice in new nom 1.5 m length of outer face of southern arcade plate to D5 - 6 including reforming mortices and rafter trenches and peg to remainder.	460.00
23.12	Splice on new upper outer reveal of southern arcade plate to D 3 - 4 including reforming rafter trenches.	920.00
23.13	Replace original gablet saddle to secondary frame 9a.	245.00
23.14	Include a provisional sum of £5000.00 for further repair work found necessary upon further exposure.	Prov. Sum 5,000.00
24.0	Allow for replacing oak rafters including removal of more recent softwood replacement, reforming square cut open eaves detail, skew cutting and nailing aisle rafters to arcade, trenching in to all plates (i.e. eaves and arcade) bridling at the ridge and pegging to the purlins, including:-	
24.1	Aisle rafters -	
	Northern aisle bay 4.5 and into bay 5 - 6	



DECEMBER 2000

GYOURY SELF
partnership
**CONSULTING STRUCTURAL
ENGINEERS**

11 HIGH STREET, FAREHAM, HAMPSHIRE PO16 7AF

TELEPHONE: 01329 822309 • FACSIMILE: 01329 232258

EMAIL: gspfarem@globalnet.co.uk

Also at Havre and St. Albans

STRUCTURAL INSPECTION

OF

AISLED BARN

GREAT POSBROOK FARM

POSBROOK LANE

TITCHFIELD

FAREHAM

HAMPSHIRE

FOR

BRYAN JEZEPEH CONSULTANCY

On Behalf Of

Fay and Son Limited
209 West Street
Fareham
Hampshire
PO16 0EN

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APPENDICES

APPENDIX A	PLAN
APPENDIX B	SECTIONS AND MEMBER IDENTIFICATION
APPENDIX C	TIMBER ORIGINALITY TABLES
APPENDIX D	TIMBER PRESERVATION REPORT



1.0 SUMMARY

- 1.1 The structure was in a satisfactory condition for refurbishment into small business units.
- 1.2 Specialist timber treatment will be required as detailed in Appendix D.
- 1.3 Recommendations regarding structural works required are contained in Section 10.0.
- 1.4 A glossary of timber members is contained in Appendix B.

2.0 APPOINTMENT

- 2.1 Gyoury Self Partnership were appointed by Bryan Jezeph Consultancy on behalf of Fay and Son Limited.

3.0 BRIEF

The brief was as follows:

- 3.1 Gyoury Self Partnership were to carry out a visual and opening up survey of the structure and comment upon suitability for conversion.
- 3.2 Following our inspection, advice was to be given regarding repairs required to the structure to maintain serviceability and return the structure to its original condition.

4.0 CONFIDENTIALITY

- 4.1 This report is intended for the private and confidential use of Fay and Son Limited and that of associated professional advisers. It should not be reproduced in whole or in part or relied upon by third parties for any use whatsoever without prior written authority.

5.0 LIMITATIONS OF REPORT

- 5.1 We did not inspect any parts of the structure which were covered, unexposed or inaccessible and we are, therefore, unable to report that any such part of the property was free from defect.
- 5.2 No investigations were made as to the presence of deleterious materials, such as asbestos and the like. However, due to the age and type of the building, it is very unlikely that such materials would be present.

6.0 INSPECTIONS

- 6.1 A familiarisation visit was undertaken on Tuesday 3rd October 2000.
- 6.2 Our Structural Inspection was undertaken on 12th October 2000, with a further inspection on 23rd November 2000.



- 6.3 An inspection was carried out by a specialist preservation company during our site attendance on 12th October 2000 and 23rd November 2000. Their Report and recommendations form *Appendix D* of this Report.

7.0 DESCRIPTION OF THE BUILDING

- 7.1 We understand that the building was originally constructed in the sixteenth century.
- 7.2 The overall plan dimensions of the building were approximately 48m x 11m.
- 7.2 The building was a traditional oak framed aisled barn. The dimension from wall post to arcade post was approximately 2m, with the dimension from arcade post to arcade post being being approximately 9m.
- 7.3 The longitudinal distance between frames (arcade) was approximately 5m.
- 7.4 A plan of the building is provided in *Appendix A*, with gridlines to allow easy identification of individual members.
- 7.5 A glossary of timber frame member names is contained in *Appendix B*.
- 7.6 Sections through the building are provided in *Appendix B*, where individual members have been identified. The members are referenced in the tables contained in *Appendix C* with regard to originality.
- 7.7 The roof consisted of profiled steel sheeting fixed directly to the timber rafters.
- 7.8 The external wall along gridline 4 has been rebuilt in brickwork. Externally, a free standing blockwork wall approximately 2.5m high ran from between gridlines C and D to between gridlines H and J.
- 7.9 The ground floor level stepped down parallel to gridline G and on gridline J. The ground floor level at the low end of the building (gridline J onwards) was approximately 800mm lower than that between gridlines A to G.
- 7.10 The ground floor had a concrete oversite.
- 7.11 A large gabled entrance was located on gridline 1, between gridlines D and E.
- 7.12 A small area of suspended timber floor was located between gridlines 1 to 2, gridlines E to G at the head of wall post level.
- 7.13 A walkway was located along the length of the building, mid-way between the tie beam and the collar.



8.0 COMMENTARY

- 8.1 Table 1.0 in *Appendix C – Member Originality* contains guidance for each structural timber in the building and whether it is original or a replacement. The guidance contained in the Table is based on a visual inspection of the timbers and their connections, and is categorized as follows:

Original – the member and its connection detail appears to be consistent with the overall age of the building.

Replacement – the member and its connection detail are not consistent with the overall age of the building.

Historical Replacement – the member and its connection detail are not original, but they blend with the original members.

Additional – the member is additional to the original structure of the building.

- 8.2 The average nominal size of the structural timber members was:

Arcade post	300 x 300
Wall post	250 x 250
Aisle tie	100 x 150 dp
Tie beam	200 x 250 dp
Queen strut	125 x 125
Collar	100 x 300 dp
Arch braces	200 x 250 dp
Principal rafter	150 x 125 dp
Arcade plate	150 x 100 dp
Common rafters	150 x 75 dp

- 8.3 The arched braces on grid references 2/B and 2/C, supporting the arcade plate between frames B and C, have been replaced by jowls fixed to the arcade posts with iron nails.
- 8.4 A number of the arch braces (members M11, M12, X and Y) were missing. These are denoted by N/A on the Beam Originality Table contained in *Appendix C*. Mortice boles were observed where the arch braces had been previously located.
- 8.5 The existing concrete oversite was broken out in a number of locations to confirm thickness and condition. It was observed to be approximately 50mm poor quality concrete construction with no apparent sub-base or membrane.
- 8.6 The external wall on gridline 1 consisted of blockwork internally up to aisle plate level, concealing the wall posts. The blockwork was broken out locally in a number of locations to check the existence of the wall posts. The wall posts were exposed and appeared to be in a satisfactory condition, however, the bases of the posts were not exposed.
- 8.7 A side halved and bridled purlin scarf joint was located between frames C and D, on gridline 3, beyond the arch braces. The joint had failed, resulting in some vertical slippage of the purlin.
- 8.8 The arch brace on frame B, gridline 2, facing towards gridline 1, had been replaced with knee brace to avoid ductwork from the agricultural machinery in the barn.



- 8.9 The rafters were connected with a dowelled halved joint at the ridge.
- 8.10 The purlin on gridline 3, between frames E and F, was a replacement member that was in a poor condition.
- 8.11 The aisle posts had jowled heads supporting tie beams and arcade plates.
- 8.12 The purlins between the ridge and gridline 2 had suffered from historical deflection. As a previous remedial measure, timber packing had been fixed between the top of the purlin and the underside of the common rafters.
- 8.13 The purlin on gridline 2, between frames A and B, has suffered severe deflection.
- 8.14 New timber members were observed around grid reference K2. We understand that a historical fire had occurred at this location and these new timbers were replacements for the fire damaged original members.
- 8.15 The gabled entrance structure on gridline E had failed and was being supported by a steel tie fixed back to other members of the structure.

9.0 CONCLUSIONS

- 9.1 The original structure of the building was in a satisfactory condition for age.
- 9.2 The building was suitable for refurbishment and conversion into individual small business units.
- 9.3 The structure between gridline A and the existing end elevation was a later addition to the original structure.
- 9.4 Gridline A was the original end elevation of the building which contained a Dutch hip. The mortices on the underside of the tie beam locate the original gable frame vertical posts.
- 9.5 The small first floor area noted in Section 7.11 was not original.
- 9.6 The timber members and their connection on gridline E at the gabled entrance structure were beyond practical repair.

10.0 RECOMMENDATIONS

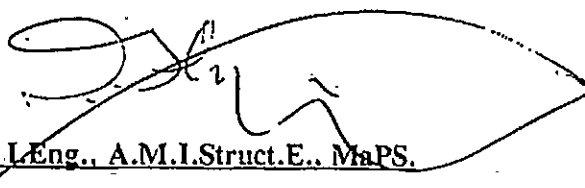
- 10.1 Recommendations have been provided assuming that the barn is to be taken back to the original structure and refurbished to provide individual small business units.
- 10.2 See *Appendix D* for recommendations regarding timber treatment and repairs.
- 10.3 A temporary scaffold should be erected over and around the whole building prior to removal of the profiled steel roof cladding to protect the timber frame from the weather during refurbishment works.
- 10.4 The existing profiled metal roof sheeting, together with timber battens, should be removed to enable an inspection of the concealed timber faces by the timber preservation specialist.



- 10.5 The timber preservation specialist company should carry out an inspection after the existing roof cladding is removed to observe the condition of the timber faces covered at the time of this inspection.
- 10.6 Temporary access should be provided for all work at height.
- 10.7 All new works should be designed and detailed by an Architect with experience in this field to ensure that they comply with Building Regulations.
- 10.8 New battens and felt should be provided for the new roof covering. A lightweight material such as slates or thatch should be utilised for the new roof. Clay or concrete roof tiles should not be used.
- 10.9 The existing concrete oversite should be broken out and replaced with a 150mm thick mesh-reinforced concrete ground slab on a grout loss barrier on a well compacted, blinded granular sub-base.
- 10.10 If the new floor level of the building is to be constant throughout, then it should be at the existing higher floor level to prevent undermining the existing arcade posts and wall posts.
- 10.11 The missing arch braces referred to in Section 8.4 should be replaced with new oak members, using the existing mortice holes. Recommendations 10.15 and 10.16 should be adopted when replacing these members.
- 10.12 The timber members and their connections on gridline E at the gabled entrance should be carefully recorded. The existing members should then be carefully removed and new members introduced, the same size as the existing, to re-build this element of the structure.
- 10.13 The purlin on gridline 2, between frames A and B, should be replaced.
- 10.14 All new timber joists should be formed using oak dowels (See 10.16 below).
- 10.15 Timbers that are unsuitable for retaining due to decay beyond practical repair, should be replaced with green oak timbers of the same size. All mortice and tenon joints between new timbers and existing timbers should be cut so that the joint is a tight fit.
- 10.16 Pegs should be made from oak which is as dry as possible so that they will not shrink : ideally, they should be baked in an oven before use. They must be tapered and rounded at the entry end, but left square at the projecting end unless they are to be finished flush with the surface of the timber that they are holding. They should be firmly tapped in and then again on completion of the job and, if possible, again after a period of one to two years.

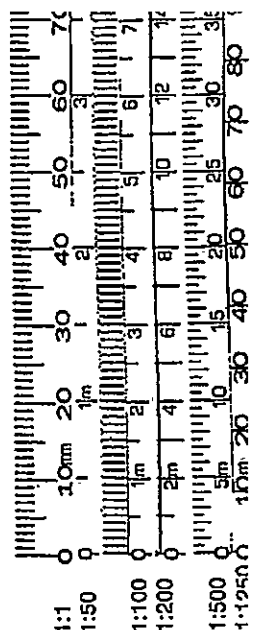
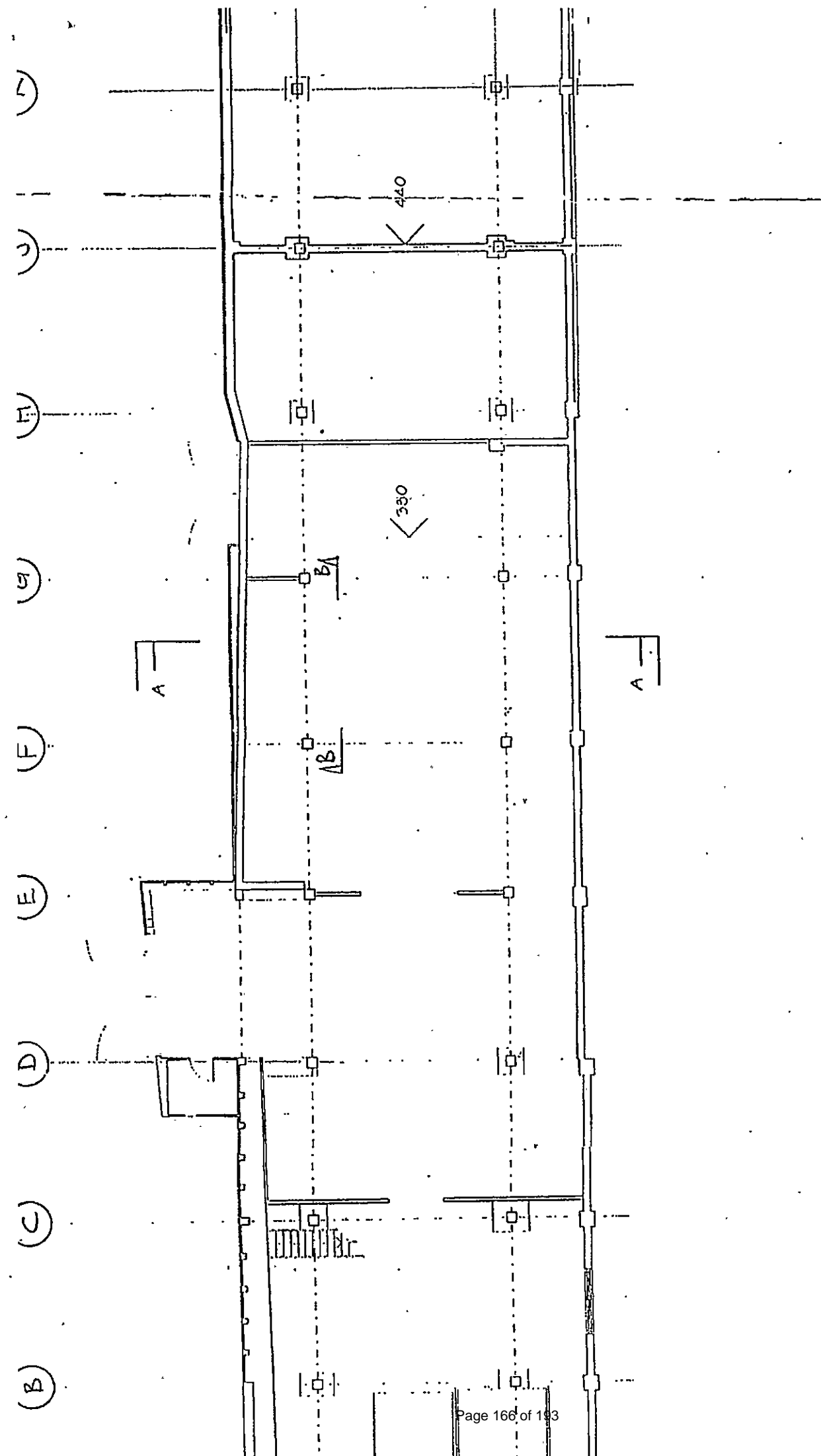


ROBERT J PRAGNELL B.Eng.(Hons), C.Eng., M.I.Struct.E., A.M.I.C.E.
Associate



DAVID FLATLEY L.Eng., A.M.I.Struct.E., M.A.P.S.
Partner





APPENDIX B

SECTIONS AND MEMBER IDENTIFICATION

B



FRAME MEMBERS

M1	Arcade Post
M2	Arcade Post
M3	Wall post
M4	Wall post
M5	Aisle tie
M6	Aisle tie
M7	Tie beam
M8	Queen strut
M9	Queen strut
M10	Collar
M11	Arch brace
M12	Arch brace
M13	Principal rafter
M14	Principal rafter

W	Floor beam
X	Arch brace
Y	Arch brace
Z	Arcade plate





Tank and sheds to be removed at the southern end of garden (Old Barn Cottage)

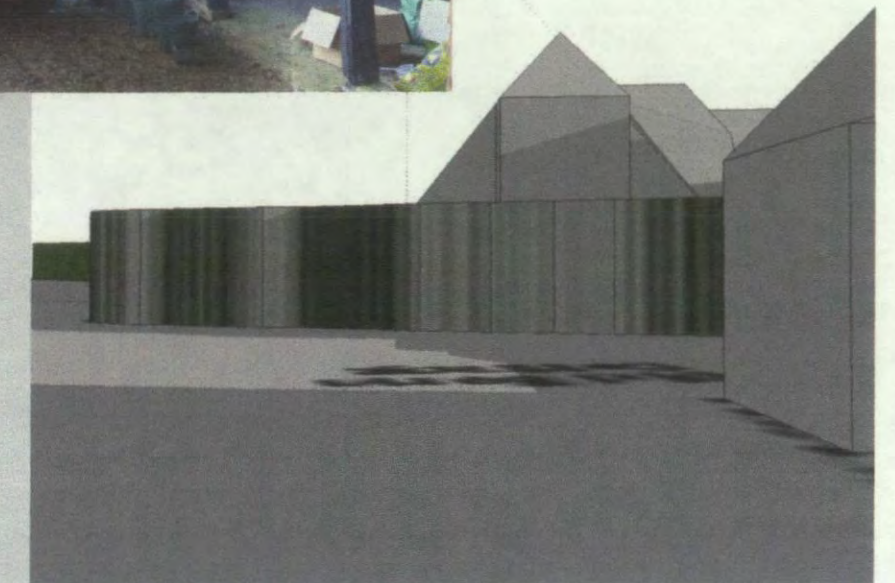


Sheds to be removed at the western end of garden (Old Barn Cottage)



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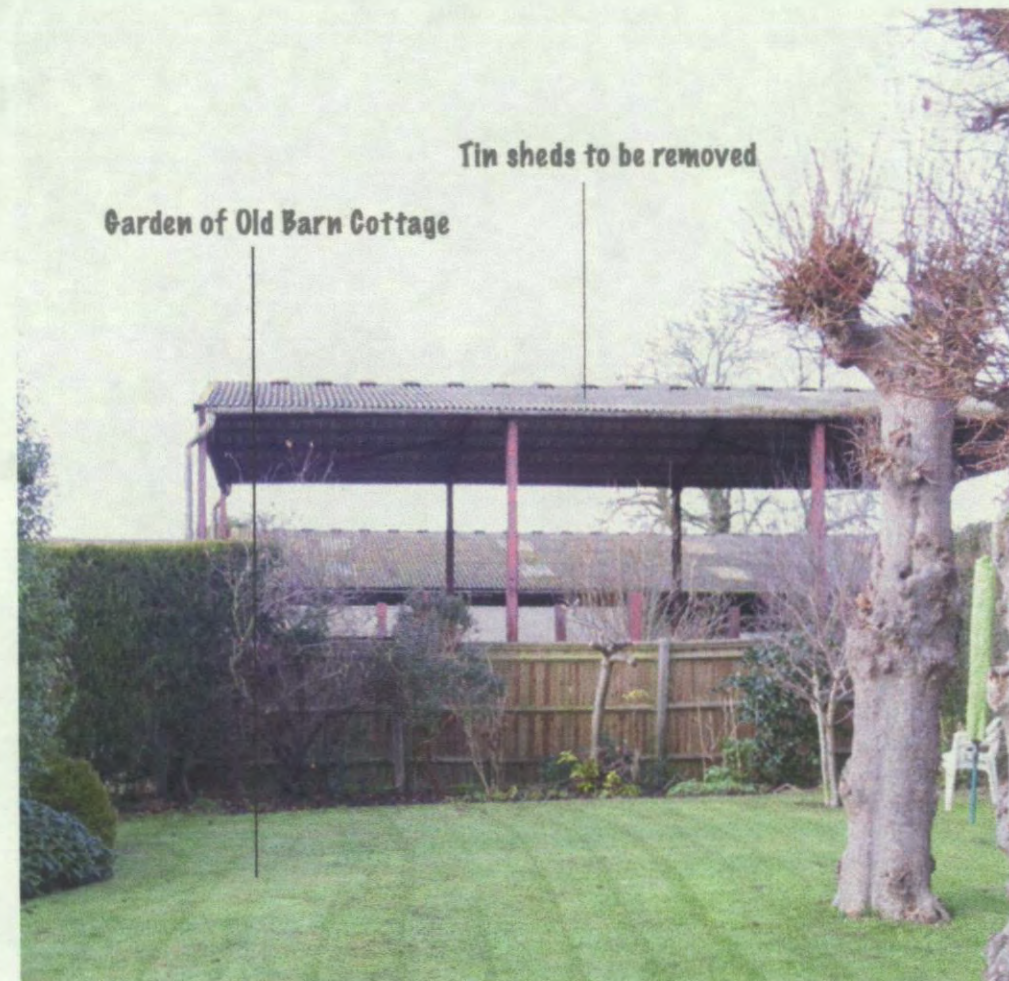
Roof of proposed dwelling from South West of garden (Old Barn Cottage)



computer generated image



Tank and sheds to be removed at the southern end of garden (Old Barn Cottage)



Sheds to be removed at the western end of garden (Old Barn Cottage)



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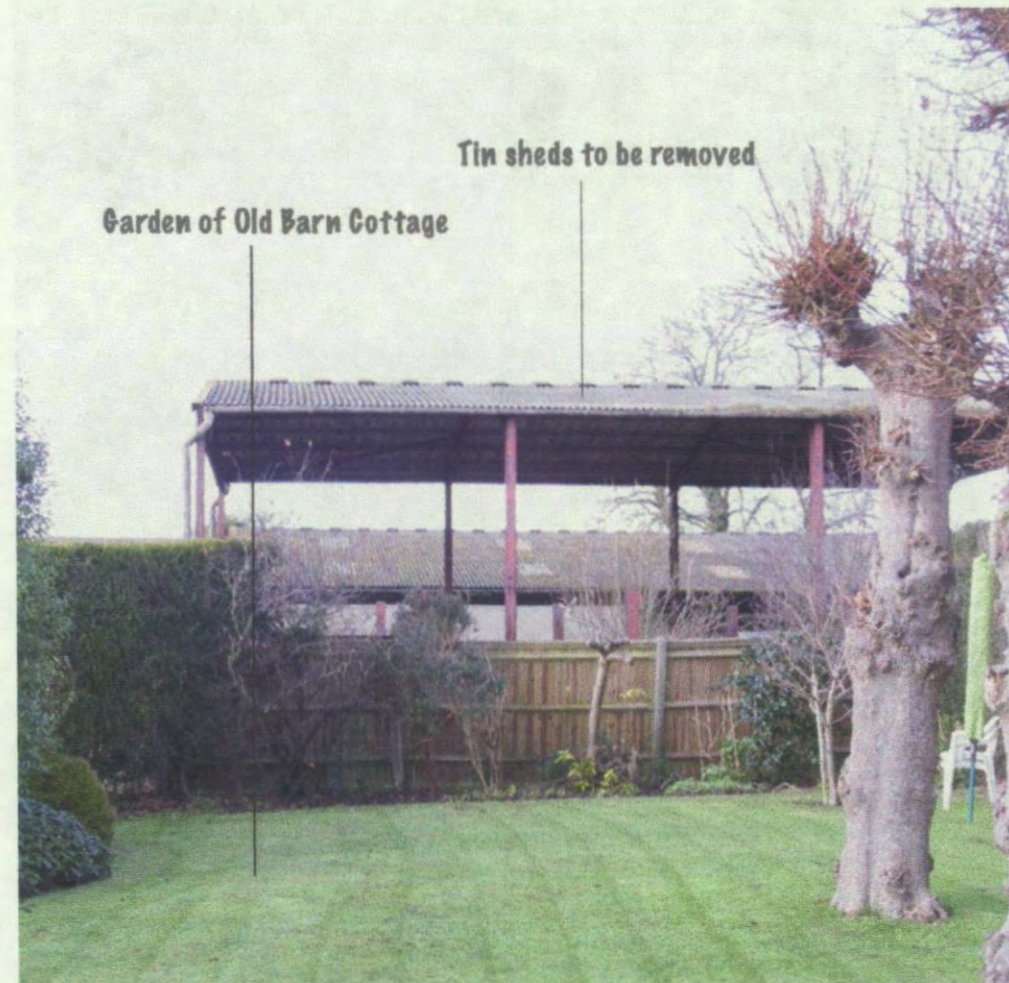
Roof of proposed dwelling from South West of garden (Old Barn Cottage)



computer generated image



Tank and sheds to be removed at the southern end of garden (Old Barn Cottage)

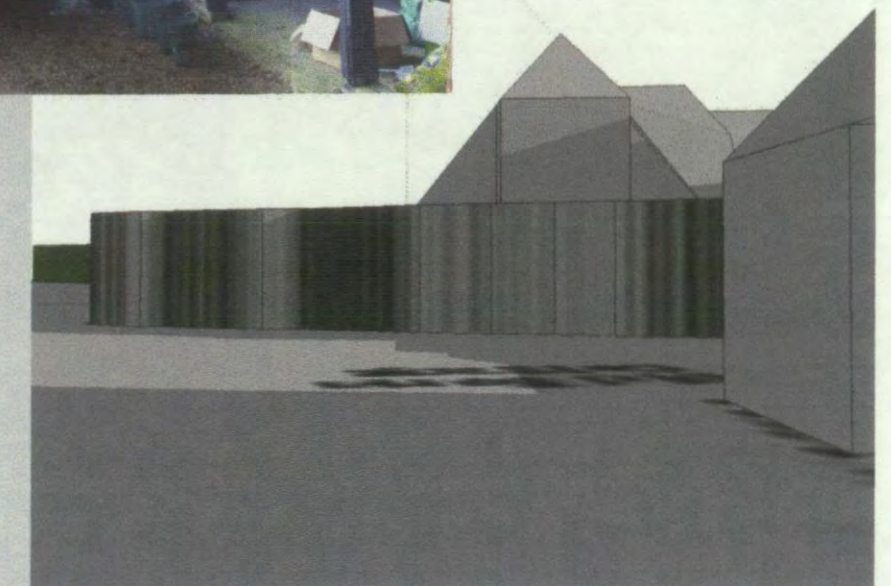


Sheds to be removed at the western end of garden (Old Barn Cottage)



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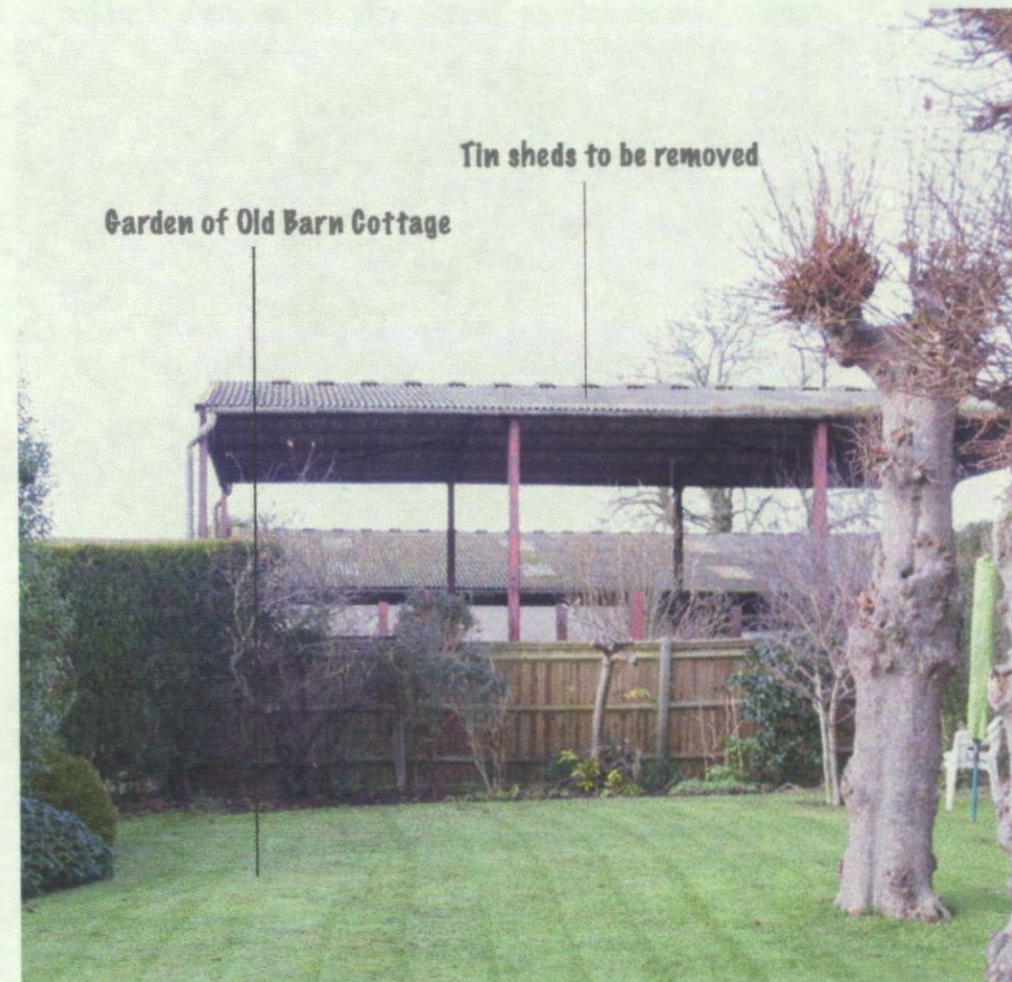
Roof of proposed dwelling from South West of garden (Old Barn Cottage)



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Tank and sheds to be removed at the southern end of garden (Old Barn Cottage)

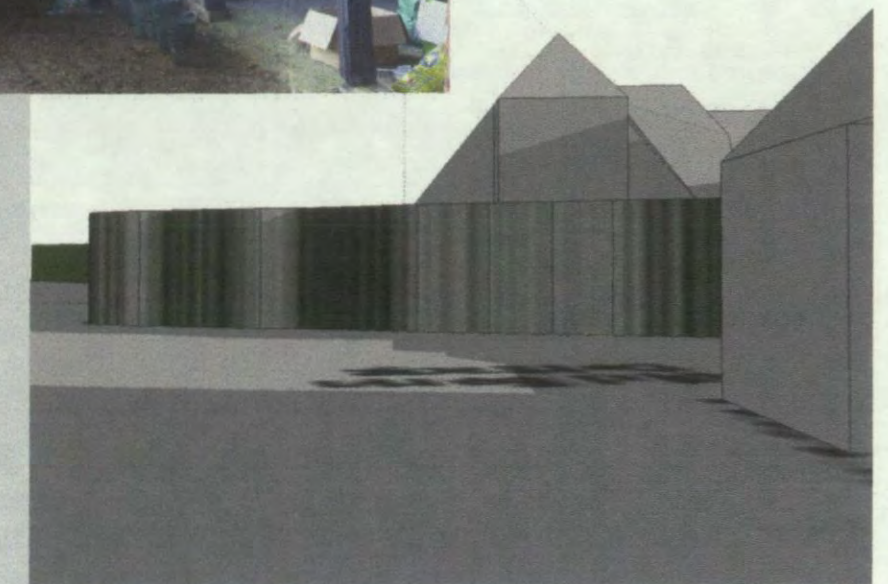


Sheds to be removed at the western end of garden (Old Barn Cottage)



montage, not computer generated image

Roof of proposed dwelling from South West of garden (Old Barn Cottage)



computer generated image

Boswell, Tony

From: bryan@jezeph.co.uk
Sent: 20 February 2006 15:19
To: Boswell, Tony
Subject: Fw: Great Posbrooke Farm
Attachments: pastedGraphic2.tiff

Dear Mr Boswell

There follows the schedule of works. I hope that this is sufficient for your purposes.

Yours sincerely

Bryan Jezeph

----- Original Message -----

From: Huw Thomas Associates

To: bryan@jezeph.co.uk

Sent: Monday, February 20, 2006 3:01 PM

Subject: Great Posbrooke Farm

Ref:1480/AS/HT

February 20, 2006

*BT.
email*

Building Regulation notes:
Aisled Barn, Great Posbrooke Farm

FOUNDATIONS

Concrete strip foundations, to the approval of the local authority.

Depth to give adequate bearing and freedom from adverse frost effects. Width to suit loading and soil conditions; all to local authorities satisfaction. Walls to be generally placed centrally on foundations.

WALLS

Existing brick: 225mm brick walls are to be made good as necessary (second hand bricks to match existing). 1:3 lime putty/sharp sand mortar flush pointed to match existing. Repairs to achieve a high standard for finished work. Existing brick walls to have a silicone injected DPC. all to be strictly in accordance with the manufacturers recommendations.

New brick plinth: 225mm brick cavity walls, in a brick and bond to match the existing. 1:3 lime putty/sharp sand mortar flush pointed to match existing. Galvanised frame ties to BS 1243 current edition. Walls to have horizontal DPC to BS 743 type 'C' minimum of 1.25mm thick (Hyload or similar) and vertical DPC to all cavity closings.

Weather boarded timber stud walls: Black stained timber weather boarding to match existing. Repair the oak frame in accordance with the structural engineers recommendations.

GROUND FLOOR

The existing concrete slab is to be broken up and removed. Lay 150mm thick reinforced concrete floor slab. DPM 1200 gauge polythene damp proof membrane with sealed 150mm laps at joints. Lay 50mm sand blinding over 150mm hardcore free from deleterious matter.

Page 1 of 2

Ref:1480/AS/HT

ROOF

Carefully remove the existing profiled steel sheeting.

Repair the oak frame in accordance with the structural engineers recommendations.

Supply and fix traditional corrugated steel sheet roofing finished with pvf2 coating all strictly in accordance with the manufacturers recommendations.

TIMBER

Oak frame to be repaired in accordance with the structural engineers recommendations.

All existing timber to be treated with proprietary preservation treatment, all to be strictly in accordance with the manufacturers recommendations.

Existing timber to be removed where structurally unsound. Repair or replace timbers with new scarfed and jointed into existing, to structural engineers' detail

DRAINAGE : To BS 8301

Gutters and down pipes to be black finished aluminium (sized to suit the roof) including all associated accessories and fittings. All strictly in accordance with the manufacturers recommendations.

Storm water drains 100 diameter (Hepworth 'Supersleve house drain' or similar). Laid to fall at 1:80 all to be constructed to local authority satisfaction.

Soakaways to be 1800mm diameter at minimum 5m from any building or road. The nominal size of soakaways is to be agreed on site following a trial pit excavation and porosity test to the approval of the Local Authority.

JOINERY

Purpose made timber doors and frames are to be built in using all necessary cramps. Finish to be matt black stain to match the boarding (Sadolins or similar approved). All strictly in accordance with the manufacturers recommendations.

APPENDIX 5.0

CHRIS BROOM "BUILDING FOR THE FUTURE – IN
SOME STYLE", PORTSMOUTH NEWS 23
JANUARY 2013

Building for the future – in some style



SKILL A wood sculpture at Holly Hill Country Park, and inset, creator Paul Sivell

By
CHRIS BROOM
[Email](#)

Published: 09:00
Wednesday 23 January 2013

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A Personal Trainer's Guide To Shaking Off The Stresses And Strains Of Work Travel

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Promotional feature from Crowne Plaza

THE striking wood carvings in Holly Hill Country Park in Sarisbury and Stubbington park have been drawing admiring gazes since they were created by sculptor Paul Sivell early last year.

And now they have been given an award in the local design Oscars, scooping the title for best [landscaping](#) .

0
comments



HAVE
YOUR SAY



CREATOR Paul Sivell

Civic body the Fareham Society has honoured outstanding examples of [design](#) and architecture from

ADVERTISEMENT



across the borough from the past three years.

From a minimalist seafront home, to a new hospital and the restoration of a manor house that was last used as a birth centre, the society's team of judges has picked the cream of the crop.

Join WWF Now To Help Protect Our Planet



From plastic in our oceans to the killing of elephants for their tusks. In so many ways our planet is suffering but together we can make a difference



Promoted by WWF

Brenda Brooker, from the society, says: 'They were all very interesting schemes.

'It's very much to do with people's willingness to work with the advice they're given and to be very aware of the setting they are building in.'

'A lot of it reflects the economic situation and how much building is taking place at the moment.

'But it also very reliant on the people's awareness of design and the environment they are going to build in.



'It's very important to have the right building in the right place.

'If they work with the conservation officers rather than forge ahead on their own with an inappropriate scheme, they will get a much better result in the long-run.

'The two new builds were the community hospital and Lighthouse 65, and both are good examples of how to fit into their surroundings.

'And with Blackbrook, they worked very well with their architects.



'These schemes are also getting more and more sustainable which cannot be a bad thing either.'

The five-person judging panel was chaired by the society's Stephen Day and included Graham Brown, architect, town planner and member of the Petersfield Society; Roger Bunn, design and art lecturer and member of The Fareham Society; Tony Munford, town planner, conservation officer and member of The Fareham Society; Phillip Turner, architect and Hampshire Buildings Preservation Trust trustee.

One of the main aims of The Fareham Society is to stimulate public interest in the promotion of high standards of architecture and design in the borough.

It originally created the awards to be held every two years, but the last awards were held in 2009, when not enough schemes were deemed worthy of the top prizes.

The awards were given for the best examples of good design completed between January 2009 and July 31, 2012.

Commemorative plaques will be awarded to the winners of both the new-build and restoration sections in the spring, with framed certificates to the architects, builders and others associated with the winning entry.

Framed [certificates](#) were also be awarded to highly commended entries and to the winners of the landscaping section.

The winners were presented with their awards at the society's meeting by the chairman of Fareham Borough Council's planning committee, Cllr Nick Walker.

Mrs Clapperton adds: 'We felt all the entries were worth being seen by the judges and the judges said they were impressed by the high standard.

'I think on the whole, though, it was fairly easy for them to come to their decisions.'

For more information about the society and its work go to farehamsociety.org.uk or call (01329) 280526.

FAREHAM COMMUNITY HOSPITAL

Since opening to the public in May 2010, the £14m Fareham Community Hospital in Brook Lane, Sarisbury, has proved a hit with patients.

It took the title of best new build.

The new purpose-built hospital has a contemporary design, and judges were impressed the use of different colours and logos, inspired from the four natural elements, to differentiate between the four departments and help orientation within the building.

Features such as light tubes bring natural light to corridors, whilst automatic taps and heating from a wood-chip boiler help lessen its environmental impact. The architects were Broadway Malyan and the contractor was Morgan Sindall of Whiteley.

ABSHOT MANOR

Formerly part of a country club, the house was deemed at risk.

But the judges considered that the scheme to restore and convert the grade II listed building and the replacement of an unattractive commercial wing with apartments has been carried out to a high standard.

As a result the restoration work has been highly commended

Design was by ADP Architects of Park Gate and construction by Jackson Collins and GJF Building Services.

Original features have been restored and the new-build wing blends with the original house.

Judges said the scheme has considerably enhanced the setting of the old house.

BLACKBROOK HOUSE

Blackbrook House had been a birth centre until the NHS closed it in 2005, and remained empty until it was bought in 2010 by Stephen Press who announced his intention to turn it into a private nursing home.

And the awards' judges clearly liked what has been done since they awarded it best [restoration](#) scheme.

The conversion and restoration into a rest home of this grade-II listed building was carried out by W Stirland Ltd with architects Anthony Perry Associates of Southsea.

Judges felt the restoration is of a high quality, with interior and exterior features restored, such as original sash windows, and the staircase.

GREAT POSBROOK FARM

At Great Posbrook Farm, in Posbrook Lane, Fareham, the judges thought the repair of the timber frames of both buildings had been skilfully executed to a very high standard.

They gave it a highly commended in the restoration category.

They felt that using the whole of the main barn section of the piggery as a large open-plan living room and kitchen has allowed the integrity of the timber framed structure to be kept.

And placing the bedrooms and bathrooms in the side-wing with windows in the original low arched pig openings, has retained its proportions.

The work was carried out by Banner Homes with architect Hugh Thomas.

LIGHTHOUSE 65

This modern home, dubbed Lighthouse 65, was designed by architect Andy Ramus of Winchester and commissioned by owners Lynne and Adrian Sproson.

Hugging the cliff with only the flat roofs and glazed entrance kiosk visible from the road, it keeps the open views of the Solent from Hill Head Road, in Hill Head, for the public.

With its striking white rendered and glass elevations facing the Solent, judges have highly commended it in the new build category.

The Sprosons' labour of love was completed early last year and was described by judges as a dramatic addition to the seafront between buildings of traditional styles, with the external clean lines being carried though to the interior design.

COURSE PARK COTTAGES

Course Park Cottages were a pair of grade-II estate cottages in a dilapidated state in Fragorum Fields, Titchfield Common.

But the judges felt that they have been skilfully restored and extended with modern facilities while keeping their character.

And they gave them their seal of approval by regarding them as highly commended in the restoration category.

The work was carried out as part of a housing development on the surrounding land by the Portsmouth contractor Tomicca and its in-house architect's practice.

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APPENDIX 6.0

PLANNING DRAWINGS FOR GREAT POSBROOK
SUMMER HOUSE AND GARAGE (APPLICATION
REFERENCE P/06/1210/FP)

NOTES:

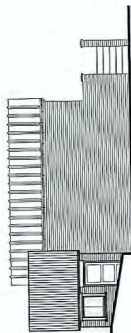
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Do not scale from these drawings except for plotting purposes.

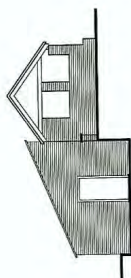
Use figured dimensions only.

Where applicable this drawing is to be read in conjunction with consultants' drawings.

All drawings to be read in conjunction with specification and all other drawings including structural engineer and mechanical electrical drawings / specification



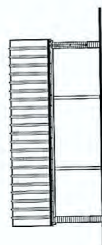
Existing Front Elevation
scale 1/100



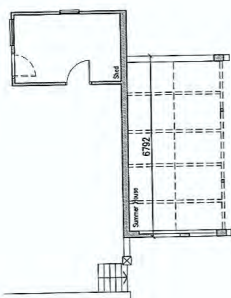
Existing Side Elevation
scale 1_100



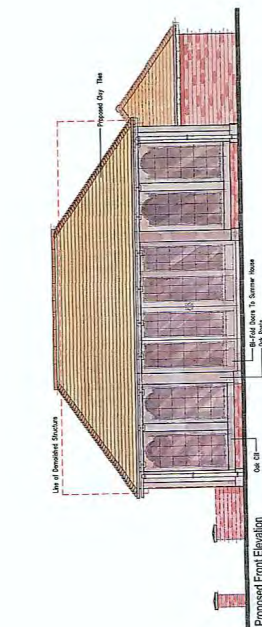
Existing Side Elevation
scale 1/100



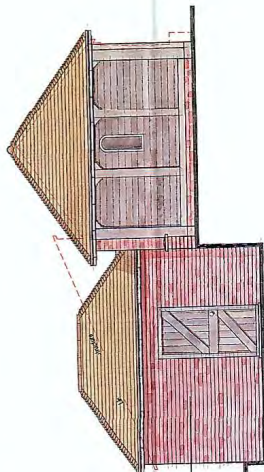
Existing Front Elevation
scale 1" = 100'



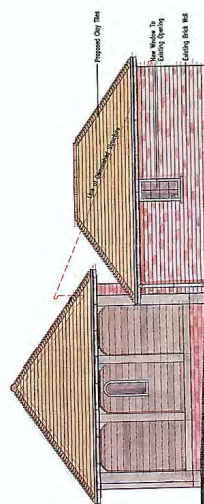
Existing Ground Floor Plan
scale 1/100



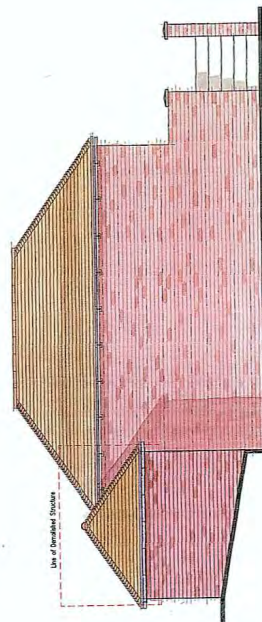
Proposed Front Elevation
scale 1_50



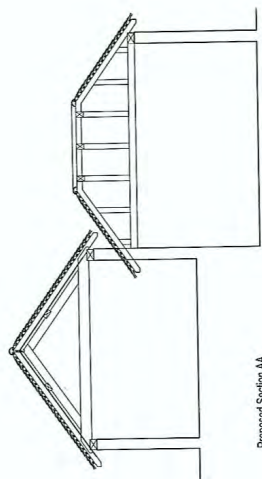
Proposed Side Elevation
scale 1/50



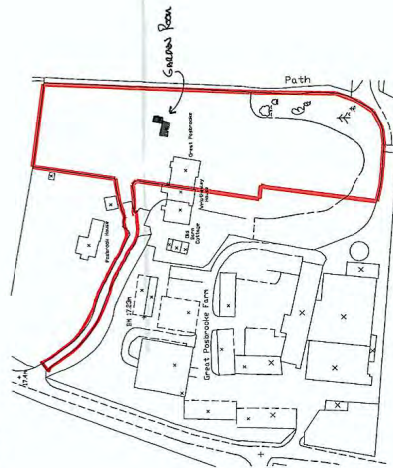
Proposed Side Elevation
scale 1/50



Proposed Rear Elevation
scale 1/50



Proposed Section AA
scale 1_50



SITE
scale 1_1250

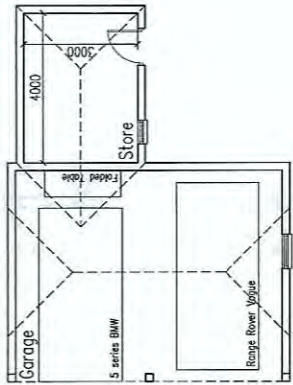
FAREHAM BOROUGH COUNCIL
DEVELOPMENT CONTROL
15 SEP 2006
REF: 986/200/FP
DECISION

REV	DATE	AMENDMENT	THGI	MH
B	03-9-06	pre-planning revisions		
A	18-9-06	CHANGES MADE FOLLOWING MEETING WITH CLIENT		

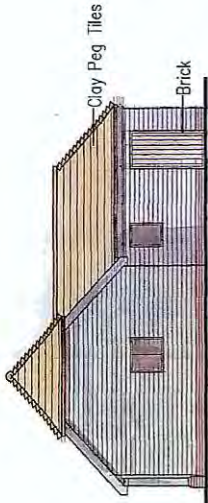
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01243 370 715

CLIENT	PROJECT	DRAWING	SCALE
Mr Roger Mabber	Summer House	Existing & Proposed	Varies
	Great Postbrook		
	Witchfield		
DATE July '06	DRAWING NUMBER	DRAWN MRH	REVISION
	06049/001		B

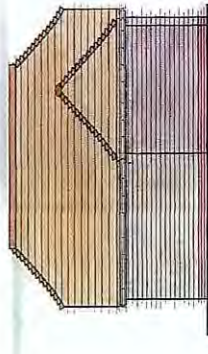
NOTES:
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Use figured dimensions only.
Where applicable this drawing is to be read in conjunction with other consultants' drawings.
All drawings to be read in conjunction with specification and all other drawings including structural engineer and mechanical and electrical drawings / specification



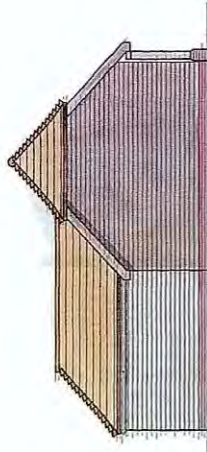
Proposed Ground Floor Plan
scale 1_100



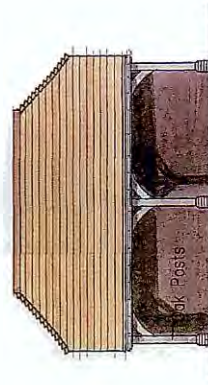
Proposed Side Elevation
scale 1_100



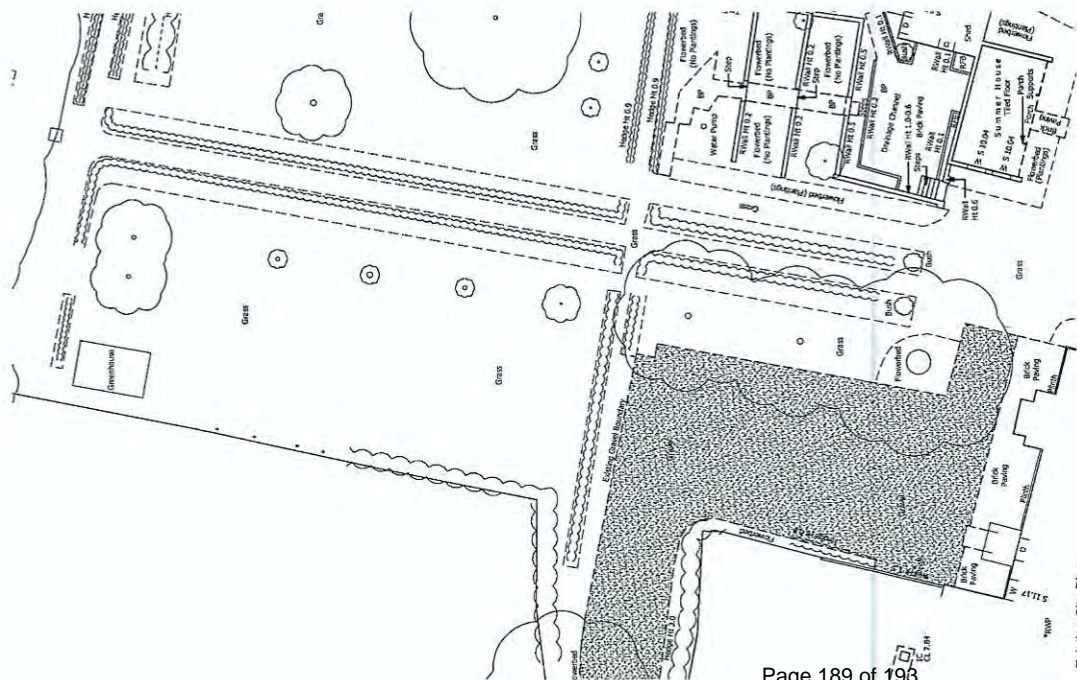
Proposed Rear Elevation
scale 1_100



Proposed Side Elevation
scale 1_100



Proposed Front Elevation
scale 1_100



Existing Site Plan
scale 1_200



Site of Proposed Garage

pre-planning revisions		MRH
B	Rear store increased	MRH
A	CHANGES MADE FOLLOWING MEETING WITH CLIENT	THGD
REV	DATE	AMENDMENT
C	03-09-06	DRAWN

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CLIENT
Mr Roger Maber

PROJECT
Proposed Garage
Great Posbrook
Titchfield

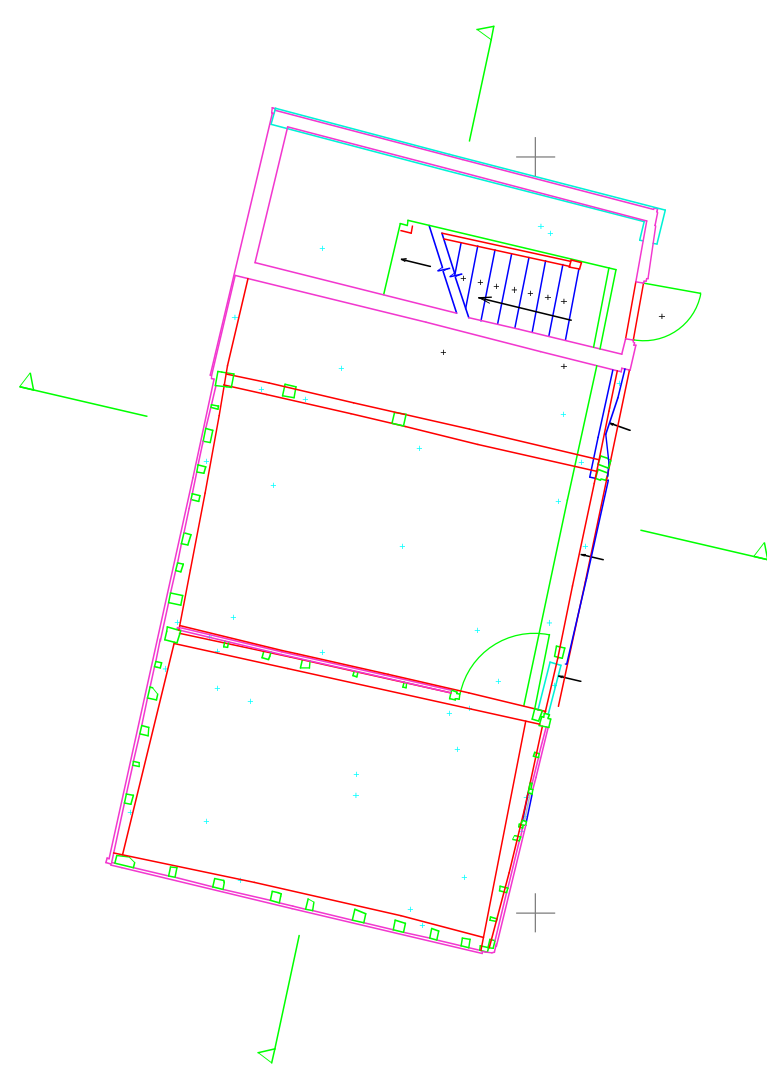
DRAWING
Existing & Proposed

SCALE
Varies

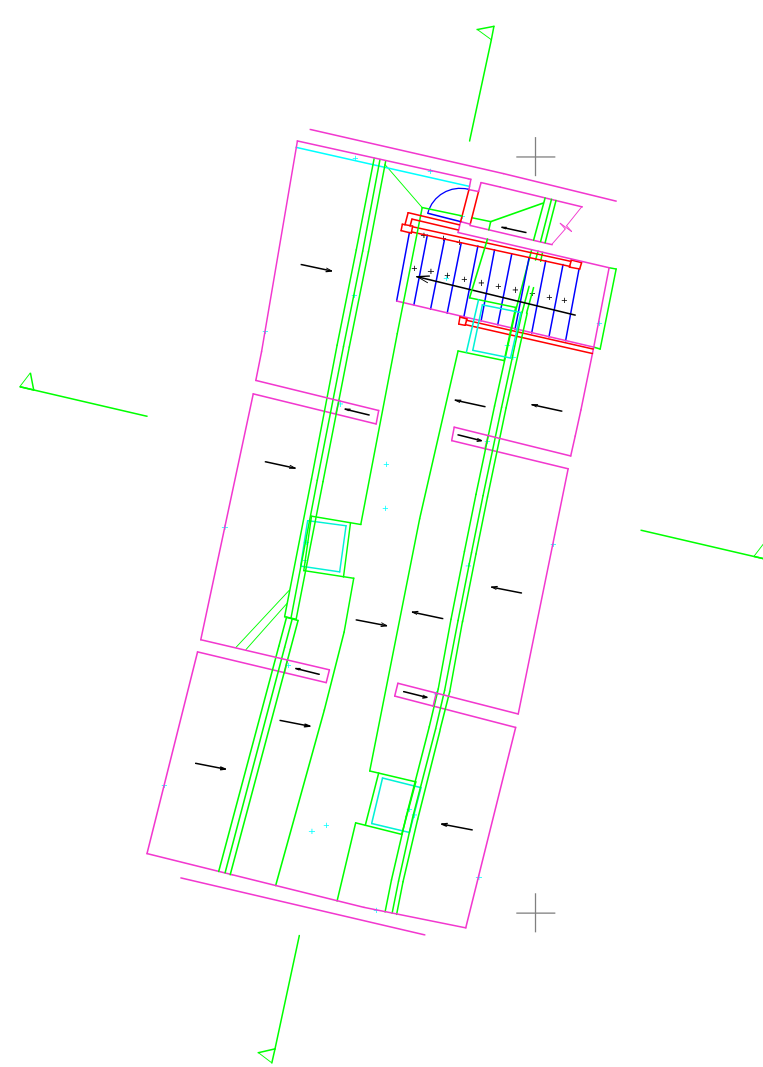
DATE July '06
DRAWN MRH
DIVISION

APPENDIX 7.0

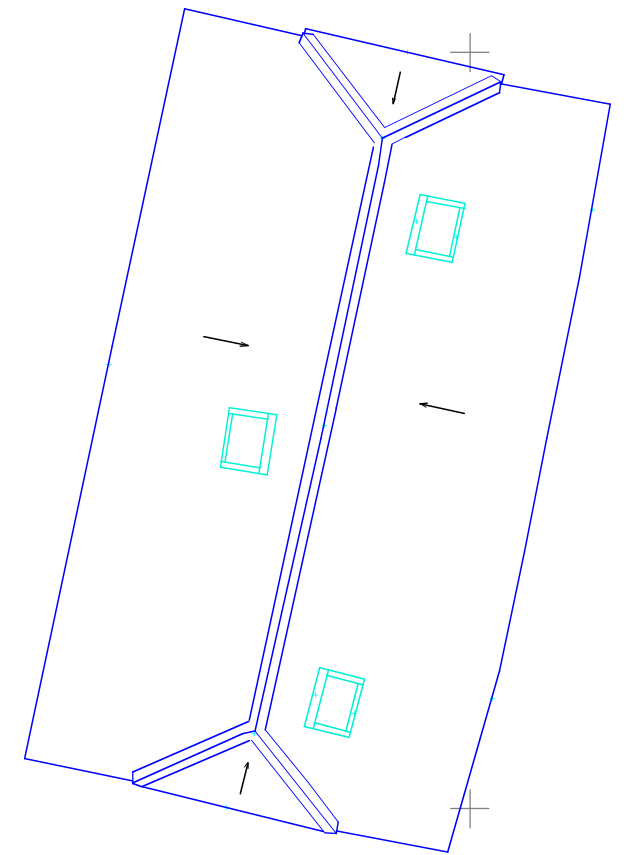
PLANNING DRAWINGS FOR OLD BARN COTTAGE
BARN/GRANARY (APPLICATION REFERENCE
P/20/0458/LB)



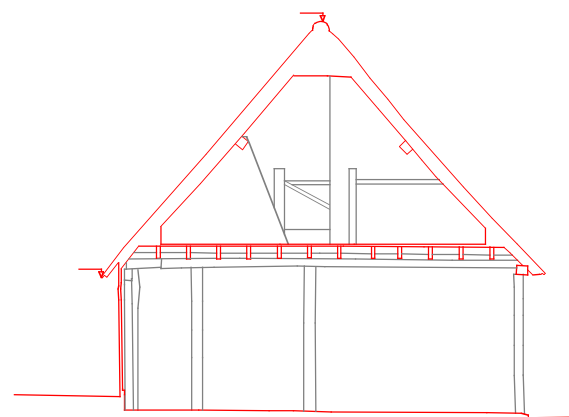
Ground floor plan



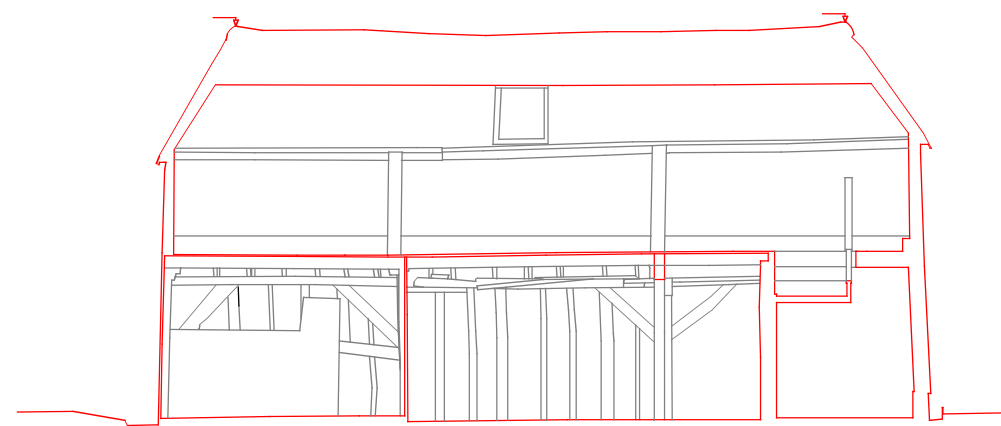
First floor plan



roof plan



cross section



long section

Client : A Thale and W Rodger

Address : Old Barn Cottage, Great Posbrook,
Posbrook Lane, Titchfield PO14 4EZ

Scale 1 : 100 at A3

Existing Plans and
Sections

Drawing number : E01

29th October 2019

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Julian R A Livingstone *Chartered Architect* RIBA IHBC AABC
BAHons DipArch(Leic) GradDiplConservation(AA)
Dahlia Cottage Vicarage Lane Upper Swanmore Hampshire SO32 2QT
t + f 01489 893399 mobile - 07 720 75 87 64
e - julian@julianlivingstone.co.uk w - julianlivingstone.co.uk

Strip the tiles, fittings, weatherbaording and internal linings from the timber frame.
Support the timber frame on a scaffold frame and replace rotten and damaged cill plates on new 215 thick Michelmersh ATR brickwork in English bond with plinth stretchers on new hand excavated foundations nominally 450mm below ground.

Generally repair the timber frame as necessary using Oak scarfed timber and or metal strapping as appropriate.

To insulated walls of the 'summer room' clad the exterior of the timber frame with Proclima Intello Plus Membrane tape sealed in accordance with manufacturers recommendations, 22mm thick Schneider TOP wood fibre boards, 25 x 50 counterbattens and finish with 175 x 20 square edged air dried Oak weatherboarding construct new 125 x 50 stud walling between the existing studs and insulate between with Pavaflex-Plus and fix Pavaterx DB 3.5 VCL 12mm OSB3 boarding (or fix VCL and OSB3 boarding first and then fill the cavity with Warmcell)

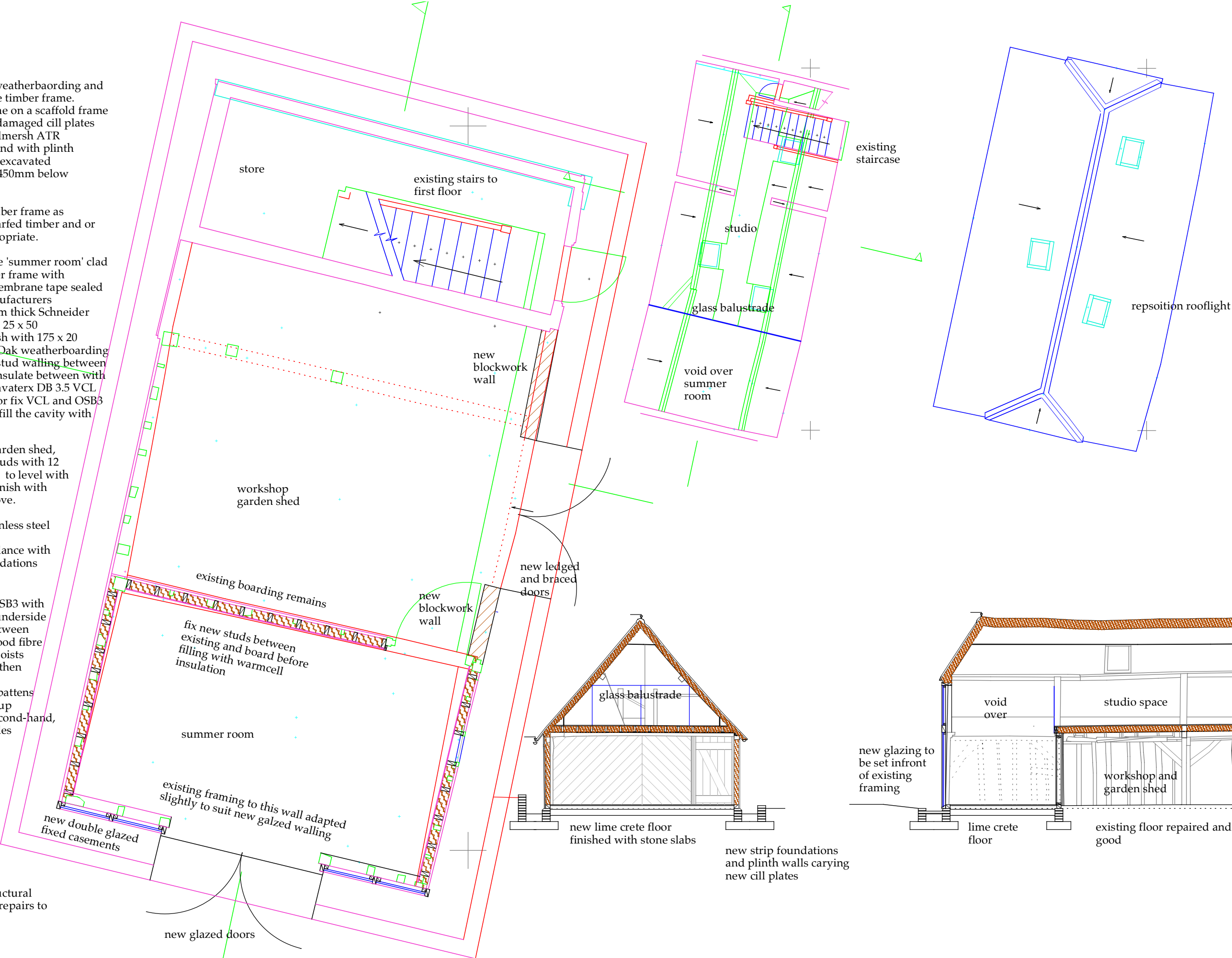
To the workshop and garden shed, clad the timber frame studs with 12 mm ply, counterbattens to level with insulated walling and finish with weatherboarding as above.

All fixings are to be stainless steel

All to be fitted in accordance with manufacturers recommendations

To the roof, fix 12mm OSB3 with all joints tapped to the underside of the rafters, full fill between rafters with Pavaflex wood fibre insulation, lay over the joists Pavatex LBD 0.02 VCL then Pavatherm-Plus, 25 x 50 counterbattens, 25 x 50 battens and refix tiling making up numbers with sound second-hand, hand made plain clay tiles

All new joinery and structural timber used in scarfing repairs to be air dried Oak



Client : A Thale and W Rodger

Address : Old Barn Cottage, Great Posbrook,
Posbrook Lane, Titchfield PO14 4EZ

Scale 1 : 50 1 : 100 at A3

Plans and Sections

Drawing number : P01

29th October 2019

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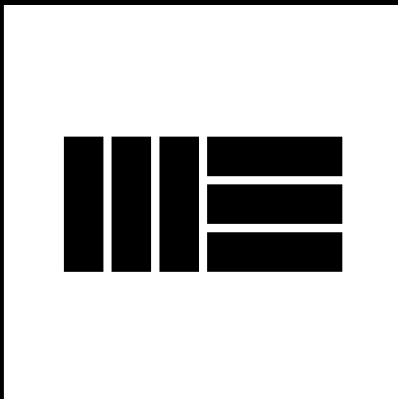
Julian R A Livingstone *Chartered Architect* RIBA IHBC AABC
BAHons DipArch(Leic) GradDiplConservation(AA)
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t + f 01489 893399 mobile - 07 720 75 87 64
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